



CITY OF FALLS CHURCH

MEMORANDUM

Transmitted by Email and First Class Mail

August 6, 2018

Joe Muffler, Vice President
Mill Creek Residential
6701 Democracy Boulevard, Suite 500
Bethesda, MD 20817

Dick Buskell/ Peter Batten
Spectrum Development LLC
P.O. Box 937
Vienna, Virginia 22183

RE: ***Mason Row/Founders Row Site Plan and Subdivision (Consolidation) Plat (Munis #2013-1165) Submission 3*** – Site plan and subdivision (consolidation) applications for mixed-use project by Mill Creek Residential and Spectrum Development LLC for properties known as 916, 920, 922, 924, 926, 928, 930, 932 & 934, West Broad Street and 919, 921 & 925 Park Avenue (Real Property Code #s 51-202-009 through 51-202-015, 51-202-003, 51-202-004, 51-202005, 51-202-028 and 51-202-028 Outlot)

Dear Mr. Muffler, Mr. Buskell & Mr. Batten,

The City staff has reviewed the 3rd Submission for the above referenced application package for the Mason Row/Founders Row mixed-use development dated July 10, 2018 that includes the following documents:

- Response to Comments;
- Site plan;
- Preliminary and Final Subdivision Plat;
- Transportation Demand Management and Parking Management Plan;
- Parking Reduction Report;
- Alternate Grove Avenue Crossing Exhibit;
- Color Architectural Plans; and
- NGBS score sheet

This letter and its associated attachments transmit the staff comments for your review and response.

APPLICATION SUMMARY

The following is a summary of the proposed Mason Row/Founders Row mixed-use development project application materials and requested land use and zoning changes.

Proposed Development Project:

Applicant(s): Mill Creek Residential and Spectrum Development, LLC

Site: Consolidating twelve (12) separate parcels totaling 4.3 acres to build an approved mixed-use development. The site is located in the 900 block of W. Broad Street; 100-200 block of N. West Street and portion of 900 block of Park Avenue.

Project: A six (6) story mixed-use building comprised of the following elements:

- Six-story mixed-use building with a ground floor retail use of approximately 56,557 square feet in addition to a movie theater with 825 seats and 5,000 square feet of office;
- Five-story residential multi-family rental apartments with 322 units above one story ground floor retail spaces;
- Five-story age-restricted apartments with 72 units above one story ground floor retail uses (subject to amendment of Special Exception Resolution 2016-04); and
- Above and below-grade parking garage; and
- Average building height of generally six (6) stories and up to 78.29 feet (Special Exception 2016-04 approved for up to 85 feet).

STAFF REVIEW COMMENTS

Key Items and Issues

The following is a list of key site plan related items, issues or actions that need to be further reviewed and discussed with staff and Planning Commission and then addressed in future submissions. These issues are also discussed in greater detail in the staff technical comments referenced below.

Key Review Items and Issues:

1. The site plan architectural elevation changes to date have improved, but additional architectural improvements are needed in the following general areas: contextual design, massing, materials, color, corner design at Broad and West, and ground floor retail elevations.

2. Resolution of the Grove and West crosswalk. The crosswalk at the initially proposed location is problematic because of safety concerns and obstructed visibility for pedestrians in the crosswalk. The Applicant has included alternate locations. Future site plan submissions shall reflect the decision made by City Council of whether or not to remove the crosswalk from the Voluntary Concessions.
3. Grove Avenue speed tables – coordination required between City staff and Grove Avenue residents. Pending staff meeting with neighborhood may need your traffic consultant’s assistance.
4. The process to determine the eastern building facade art in a collaborative community format and process should start now and be completed as a site plan amendment post-site plan.
5. Ensure that all plan sheets, TDM, etc., are up-to-date and consistent with final adopted voluntary concessions pending approval of the special exception amendment. Including commercial and residential square footages that are consistent with the special exception documents and site plan, particularly as related to parking requirements and requested waivers. Please refer to Enclosure 1 for Applicant prepared summary of VC changes matrix.
6. Special Exception Amendment will need final approval by City Council before site plan final public hearing and approval by the Planning Commission. (See schedule below for interim site plan process items and events).

Requested Action Items (Waivers and Modifications):

1. Parking modification for required parking is requested from 1,066 to 1,017 (Site Plan C-0102) for an overall 5 percent reduction.
2. [Waiver] To allow a commercial entrance to be within 100 foot distance from an “R” residential district (Section 48-938 (d) city code). On Park Avenue the planned commercial entrance is within 50 feet across the street of an existing “R” district.
3. [Waiver] landscaping buffer density – eastern boundary to modify and reduce the quantity of required shade trees due to underground storm utilities in the 20 foot buffer area. (Sheet L3.0)

The memo and associated attachments provide staff review comments on the 3rd submission. With your next submission, please provide a response letter in annotated format addressing all comments:

Planning

Planning/Development Review – Gary Fuller, Deputy Planning Director, 703-248-5039
Carly Aubrey, Principal Planner, 703-248-5106

Voluntary Concessions

1. Ensure that all plan sheets, TDM, etc., are up-to-date and consistent with final adopted voluntary concessions pending approval of the special exception amendment.
2. Resolution of the Grove and West crosswalk. The crosswalk at the initially proposed location is problematic because of safety concerns and obstructed visibility for pedestrians in the crosswalk. The Applicant has included alternate locations. Future site plan submissions shall reflect the decision made by City Council of whether or not to remove the crosswalk from the Voluntary Concessions.
3. Grove Avenue speed tables – coordination required between City staff and Grove Avenue residents. Pending staff meeting with neighborhood may need your traffic consultant's assistance.
4. A plan for construction management and worker parking in the form of a Construction Parking Plan and a Construction Traffic and Staging Plan is needed prior to demolition and build permit issuance (See Voluntary Concessions #21).

Site Plan Requirements

Site Plan

5. Parking modification request: Ensure consistency in the amount of percent reduction requested between the site plan, TDM and PMP, Parking Reduction report, and Voluntary Concessions.
6. Sheet L2.1, L2.6 and RTC: It is stated that the pedestrian zone in the Streetscape Standards is a minimum of 6'; however, it is 9'-10' for 20' setback areas, and 10' as indicated in VC#7. VC #7 may allow for flexibility down to 6' for outdoor dining, but that is not the standard. Either show a pedestrian zone of 10 feet in the section details with a note indicating it may be reduced to 6' in areas of outdoor dining; or leave as is and include a note on these sheets indicating that in areas without outdoor dining the pedestrian zone shall be 10 feet.
7. Sheets C-0401 – 0408 and L1.0: ensure consistency of sidewalk materials between these sheets. It appears in the "C" sheets that the brick sidewalks end near the intersection of West Street and Broad Street, and the crosswalk at Founders Avenue and West Street appears to be brick. As indicated in staff comments on April 20th *Please confirm that brick pavers continue to be used as the sidewalk wraps around from West Broad Street and onto North West Street and Park Avenue. Brick pavers are the material of choice in the City's commercial areas and are recommended in the City's Streetscape Standards.*
8. Sheet L2.0: grey color is still indicated for luminaire specs. Please indicate black as required per new streetscape standards

Architectural Elevations

9. The site plan architectural elevation changes to date have improved, but additional architectural improvements are needed in the following general areas: contextual design, massing, materials, color, corner design at Broad and West, and ground floor retail elevations.
10. Sheet A1-07: five ECS and ten future ECS parking spaces are indicated, however the Parking Notes on Sheets A1-07 – A1-09 indicate 9 future ECS spaces; please correct to indicate ten future ECS spaces. Additionally, the Voluntary Concessions dated August 3, 2018, indicate ten ECS spaces to be installed at time of project build-out; please ensure future submissions are consistent with the Voluntary Concessions.
11. The Owner has agreed to provide art as shown on Option A for treatment of the East Façade, as shown on drawing A.2.1.a, dated December 9, 2015 (See Voluntary Concession #19). Include a note on Sheets A2-00 and -01 that what is shown is placeholder façade art and that the process to determine the eastern building facade art would be a collaborative community format to be completed as a site plan amendment post-site plan.

Subdivision Plats

Preliminary and Final Plat

12. Sheet C-0304: Remove width (i.e. 14’/20’ from FC) in “Prop. Public Sidewalk & Utilities Easement” on the preliminary plat. The building setbacks along West Street are to be 20’ from face of curb per the voluntary concessions. Additionally, the width of necessary easements will be of variable width depending on exact location and please include dimensions at numerous locations to indicate the variable widths.

Transportation Planning – Jeff Sikes, Transportation Planner, 703-248-5296;

Kerri Oddenino, Planner, 703-248-5477

See memorandum, dated August 6, 2018 for transportation planning comments and further details (Enclosure 2).

Zoning

John Boyle, Zoning Administrator, 703-248-5126

See memorandum, dated July 24, 2018 for comments and further details (Enclosure 3).

Department of Public Works

Civil/Transportation Engineering – Jason Widstrom, Principal Engineer, 703-248-5026

We request the removal of the proposed crosswalk and pedestrian refuge at the intersection of N. West St. and Grove Ave. We strongly believe the crosswalk is a safety concern for pedestrians due to the curved nature of the intersection. Additionally, in our

experience with maintenance of refuge islands such as this, we anticipate the proposed design would become a nuisance requiring continual City resources to repair and respond to motorist that hit the island.”

Urban Forestry – Katherine Reich, City Arborist, 703-548-5183

See memorandum, dated July 26, 2018 for comments and further details (Enclosure 4)

Solid Waste – Chris McGough, Solid Waste Coordinator, 703-248-5456

Previous comments addressed.

Building Safety

Doug Fraser, Building Official, 703-248-5087

No comments received.

Fire Official

Captain Tom Polera, Fire Official, 703-248-5087

No comments received.

Housing and Human Services

Nancy Vincent, Director of Human Services, 703-248-5191

No comments received.

NOVA Parks

Mike DePue, Land Manager, 703-359-4615

See memorandum, dated July 30, 2018 for comments and further details (Enclosure 5)

Police

No comments received.

Fairfax Water

Ross Stilling, P.E., 703-289-6385

See attached materials, dated July 26, 2018 for comments and further details (Enclosure 6).

----- End Staff Comments -----

The Architectural Advisory Board discussed the site plan and the special exception amendment at their July 11th meeting. Those minutes are included in Enclosure 7.

The Tree Commission discussed the site plan and the special exception amendment at their July 18, 2018 meeting (Enclosure 8). They provided the following comments:

- The planters along Broad Street should be merged to hold 2-3 of the planned street trees each where possible, both for the health of the trees and for design consistency along West Broad Street.
- Street trees along Park Avenue should be moved to the street side of the sidewalk, because where they are shown is too close to the building for healthy branch development and could cause building maintenance problems in future.
- Please clarify the underground situation of the street trees along Founders Lane. Will these trees be in the ground, or will planters for them be constructed above the garage?

General schedule:

A general tentative schedule for the Mason Row/Founders Row site plan process and required final review is provided:

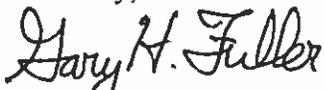
<u>Task/Action</u>	<u>Date(s)</u>
City Council Work Session on Special Exception Amendment	August 6
City Council Public Hearing/Final Action – Special Exception Amendment	August 13
Planning Commission Public Hearing/Final Action - Site Plan and Subdivision (Consolidation) Plat <ul style="list-style-type: none"> • 18 copies of application materials (two redlined) (incl. color 11x17 Elevations, Site Plan and Landscaping sheets) • To be determined in coordination with, and post Special Exception Amendment approval 	September 4

*****Schedule subject to change*****

When re-submitting, please provide a CD with complete application re-submission along with an annotated response to the comments provided in this letter. The complete resubmission is due August 14, 2018 for scheduling before the Planning Commission on September 4, 2018 or by August 31, 2018 for scheduling for the September 17, 2018 meeting.

If you have any questions, please feel free to call Carly Aubrey or me at 703-248-5040 or the respective city staff listed for specific technical questions.

Sincerely,



Gary Fuller, AICP, CZA
Deputy Planning Director



Carly Aubrey, AICP
Principal Planner

Cc: Paul Stoddard, AICP, Planning Director/CPEDS
James Snyder, Director CPEDS

Enclosures:

1. Summary of Voluntary Concessions Changes, July 27, 2018
2. Memo from Planner, Kerri Oddenino; Transportation Planner, Jeff Sikes, July 27, 2018
3. Memo from Zoning Administrator, John Boyle, July 24, 2018
4. Memo from Department of Public Works, Katherine Reich, July 26, 2018
5. Memo from NOVA Parks, Mike DePue, July 30, 2018
6. Plan annotated notes from Fairfax Water, July 26, 2018
7. Architectural Advisory Board comments, July 11, 2018
8. Tree Commission comments, July 18, 2018

Founder's Row
Summary of Voluntary Concessions Changes
 July 27, 2018

<u>Section</u>	<u>Item</u>	<u>Description</u>
General	--	Dates have been amended throughout to reflect the current submission
Section 1	Conceptual Development Plan	Age-Restricted/Active Adult 55+ component has been added in lieu of the Hotel use
Section 1	Conceptual Development Plan	Total residential square footage for the Active Adult Community was changed from a minimum of 88,000 SF to 86,000 SF, reflecting the current design
Section 2	Uses	The Hotel use has been removed and replaced with the proposed Active Adult 55+ use
Section 3	Commercial Space	The proposed Food & Beverage establishment minimum has been raised from 20,000 square feet to 25,000 square feet of the ground floor commercial area
Section 3	Commercial Space	"Food and Beverage establishments" have been clarified to reflect establishments that are subject to a meals tax levy as supported by the City's Fiscal Impact analysis
Section 3	Commercial Space – Prohibited Uses	Removed two "Prohibited Uses" as recommended by City Staff due to obsolescence
Section 3	Commercial Space – Conditional Uses	Square footages have been adjusted to reflect current submission
Section 3	Commercial Space – Design Requirements	Square footages have been adjusted to reflect current submission
Section 3	Commercial Space – Design Requirements	Age Restricted/Active Adult 55+ component has been added in lieu of the Hotel use
Section 3	Commercial Space – Site Specific Uses	The size of the movie theater has been adjusted to reflect the current lease and design
Section 3	Commercial Space – Site Specific Uses	A provision was added that requires the completion of a portion of the commercial spaces prior to the first residential certificate of occupancy; and completion of the entirety of the cold dark shell retail spaces prior to the issuance of the final residential certificate of occupancy
Section 3	Commercial Space – Site	Verbiage was added to define the level of

	Specific Uses	finish available in the cold dark shell commercial spaces per the request of City Staff
Section 4	Active Adult 55+ Community Condition	A new section has been added to address the Active Adult 55+ community and to remove the “Hotel Condition”
Section 4	Active Adult 55+ Community Condition	Language has been added clarifying that the Owner can establish a minimum age requirement for the building, and an additional provision is included that the Owner will restrict individuals aged 18 years and younger from residing in the building as preserved in the legal lease language. This will prevent school-aged children from claiming residence in this building.
Section 4	Active Adult 55+ Community Condition	The Owner agrees to allow the City Attorney or City Manager review the lease to ensure the above rules and regulations are met prior to the issuance of a certificate of occupancy for the Active Adult 55+ community
Section 5	School Capital Contribution	CPI adjustment language has been added to this financial contribution
Section 6	Affordable Housing Contribution, Paragraph (a)	The total number of Affordable Dwelling Units has been increased to 27, inclusive of the four additional units in the Active Adult 55+ community.
Section 6	Affordable Housing Contribution, Paragraph (d)	The term of the Affordable Dwelling Unit commitment has been revised from 20 years to the life of the Project
Section 6	Affordable Housing Contribution, Paragraph (l)	A new provision has been added allowing for the Owner to make a cash contribution to the City upon the 20 year anniversary of the issuance of the first certificate of occupancy in lieu of providing the Affordable Dwelling Units described above
Section 7	Pedestrian Oriented Design Elements – Streetscape	Language was added to reflect that the design is in accordance with the City’s adopted “Streetscape Standards for Commercial Spaces”
Section 7	Pedestrian Oriented Design Elements – Streetscape	Language was revised to reflect City standards that the building setback is measured 20 feet from the “face of the curb” as opposed to the “back of the curb”

Section 7	Pedestrian Oriented Design Elements – Streetscape	Owner agrees to maintain the street trees
Section 7	Pedestrian Oriented Design Elements – Market Square	The Owner has added a commitment to provide a water feature in the Market Square
Section 7	Pedestrian Oriented Design Elements – Pedestrian Improvements	The commitment to providing a new pedestrian crosswalk and median island at the intersection of North West Street and Grove Avenue has been removed due to safety concerns expressed by members of City Staff and Applicant’s engineers.
Section 8	Environmental Improvements – Green Building Criteria: National Green Building Standard (“NGBS”)	The Owner commits to providing an NGBS Gold certification for the Active Adult 55+ Community, revised from the prior commitment of NGBS Silver. Commercial spaces will be developed to ASHRAE 90.1 v 2010 requirements.
Section 8	Environmental Improvements – Green Building Criteria: National Green Building Standard (“NGBS”)	The time frame for NGBS certification of each building has been revised from three years to one year after the issuance of the final certificate of occupancy
Section 8	Environmental Improvements – Green Building Criteria: National Green Building Standard (“NGBS”)	Hotel language and LEED commitments have been removed
Section 8	Environmental Improvements – Future Solar Panels	A commitment to providing conduit for the potential future installation of solar panels has been added
Section 8	Environmental Improvements – Electric Vehicle Charging Station	The commitment to Electric Vehicle Charging Stations has been revised to 10 installed stations and conduit for 10 future stations (from 5 and 5 respectively). Language has also been added ensuring the stations and conduit are allocated between commercial and residential uses.
Section 14	Transportation Demand Management (TDM) and Parking Management Plan	Language was added clarifying that 1 total shuttle will be provided for the apartment residences (Conventional and Active Adult 55+)
Section 16	Bicycle Parking, Storage, and BikeShare – BikeShare	The Cap on reimbursements for the BikeShare has been removed, and the Applicant commits to bearing the full cost of maintenance for the life of the project.

Section 18	Parks and Recreation Contribution	CPI adjustment language has been added to this financial contribution
Section 19	Public Art and Art Space	CPI adjustment language has been added to this financial contribution
Section 20	Falls Church Public Library Contribution	The contribution amount has been increased from \$0.62 per residential square foot to \$0.70. Language has been revised per the Library Commission's recommendation to reflect that the contribution is for general library "use," and that the contribution shall be paid prior to the issuance of a demolition permit. CPI adjustment language has also been added to this financial contribution.
Section 21	Construction Management – Sidewalk Accessibility	Language has been added allowing the City Manager to approve sidewalk closures of longer than 15 days when and if necessary
Section 22	Public Safety – Public Safety Radio	Language has been added placing the Public Safety Radio on the Emergency Generator per the recommendation of the Chief Building Official
Section 22	Public Safety – Life Safety	Life Safety commitments were revised per the recommendations of the Chief Building Official and Fire Marshal
Section 24	Other Terms and Conditions – Owner Acknowledgements	The expiration of the Special Exception has been revised to 18 months after the date of approval from 36 months



CITY OF FALLS CHURCH

DATE: July 27, 2018

TO: Gary H. Fuller, AICP, Deputy Director of Planning
Carly Aubrey, AICP, Principal Planner

CC: Paul Stoddard, AICP, Director of Planning
Jason Widstrom, PE, Principal Engineer

FROM: Kerri Oddenino, Planner
Jeff Sikes, Transportation Planner

SUBJECT: Founders' Row Site Plan Transportation Planning Review

Please find below our transportation planning comments and recommendations regarding the Founder's Row Site Plan Third submission. These comments and recommendations respond to the following documents dated July 10, 2018. *Comments shown in italics refer to changes reflected in the third Site Plan Submission.*

1. Site Plan,
2. Elevations,
3. Transportation Management Plan,
4. Parking Reduction and Parking Management Plan,
5. Signal Warrant Analysis for North West Street/Park Avenue/Mason Avenue and,
6. Signal Warrant Analysis for West Broad Street/East Site Entrance
7. Trip Generation Analysis

Policy Guidance

These comments are motivated by the following policy guidance:

- Approved Mason Row Conceptual Development Plan and Voluntary Concessions
- Comprehensive Plan
- West Broad Street Small Area Plan
- City's Design Guidelines
- Streetscape Design Standards for Commercial Streets
- Bus Stop and Bus Shelter Master Plan
- Bicycle Master Plan

Comments Requiring a Response :

Intersection and Street Geometry

North West Street & Grove Avenue Intersection (Sheet C-0401)

1. The third Site Plan Submission shows a dedicated left turn lane onto Grove Avenue and one through lane continuing on North West Street. That configuration is consistent with the approved Conceptual Development Plan and should be maintained. The pedestrian refuge on North West Street should be enlarged. The pedestrian refuge should be extended to include both sides of the crosswalk, and the edge of the refuge should line up with the curb line of Grove Avenue. This change will increase pedestrian safety by allowing pedestrians to cross just one travel lane at a time. The lane markings are unclear, I recommend a meeting with the applicant's engineer to discuss.

Staff met recently with the applicants engineer to discuss the crosswalk and pedestrian refuge islands. The design engineers are of the opinion that the proposed crosswalk does not afford adequate driver visibility of pedestrians wanting to cross West Street and should not be constructed. After careful consideration, I personally believe that trying to cross pedestrians at this location is unsafe once the project is constructed and the small refuge islands pose a hazard to vehicles. Therefore, I have arrived at the same conclusion that the crosswalk and pedestrian refuges should be removed from the plan. (JPS)

West Broad Street & West Street Intersection (Sheet C-0401)

1. As discussed during our meeting on January 25, 2017, the Second Site Plan Submission does not show the nose of the median being pulled out beyond the crosswalk that connects the Mason Row site and the Taco Bell site. The median should be reviewed later for pedestrian safety.

Sidewalk Materials

Brick Pavers

1. Brick paver sidewalk materials appear to be shown on West Broad Street in the Second Site Plan Submission. Please confirm that brick pavers continue to be used as the sidewalk wraps around from West Broad Street and onto North West Street and Park Avenue. Brick pavers are the material of choice in the City's commercial areas and are recommended in the City's Streetscape Standards.

Automobile Parking

Drive Aisles (Sheets A1.07-A1.09)

2. The northeast most drive aisles in level P0 of the parking garage appear to lack space to turn around or have dead ends. The parking spaces at the end of these rows should be considered for removal to allow for turning space and drive aisles.

Bicycle Parking

Secure Bike Parking Location (Sheets A1.08, A2.02 and A2.03)

3. The area for secure bicycle parking is shown on garage level 1, level 1A, PO, P1 and P2. More information is needed about how people on bikes should access bike parking and travel within the garage.
4. Bike rack spacing provided on sheet L2.1 show a minimum of 3 feet between bike racks that are parallel to one another. This spacing should be maintained.

Short-Term Parking (Sheet C-0401)

5. The proposed sidewalk bicycle racks appear concentrated in some areas and sparse in others. The bike rack locations should be reviewed to confirm that each door has a bike rack located within 50 feet. See especially the door along West Broad Street near the intersection with West Street and the door along West Street near the entrance to Market Square. Bike racks should also be provided within the building zone, and in Market square within 50 feet of doors.

Neighborhood Connections

Grove Avenue & W&OD (Sheet L1.0)

6. The City's recently adopted W&OD Master Plan shows at-grade crossings with the W&OD being updated with three safety features: (1) raised crossings, (2) narrowed crossings, and (3) special paving materials. Voluntary Concession 11 agrees to narrow the crossing and raised the crossing – two of the three features identified in the City's W&OD Plan.

As discussed with City staff, the applicant, and NOVA Parks, special paving materials should be used on either side of the crossing. Materials to be used should be shown on sheet L1.0.

Grove Avenue (no sheet)

7. Per voluntary concession 11, the developer agreed to install three speed tables along Grove Avenue to calm traffic. City staff should identify locations for these speed tables in consultation with neighborhood residents.

Park Avenue (Sheet C-0401)

8. The West Broad Street Small Area Plan calls for redevelopment to celebrate existing residential neighborhoods through urban design including gateway features like special paving, signs, and pillars (page 3-3). This look could be achieved along Park Avenue by repurposing a portion of proposed parallel parking spaces for additional planting spaces for street trees or other greenery not only on the site's frontage as shown, but on the other side of the street as well.

Trip Generation

The change of use from a hotel to age restricted adult housing will result in fewer trips generated and attracted to the site. The amended plan will generate 82 fewer AM peak hour trips and 127 fewer PM peak hour trips when compared to the original submission.

Transportation Demand Management (TDM) and Parking Management

Residential Parking Reduction (page 5)

9. The applicant is requesting a parking rate of 1.32 spaces per unit. According to the 2011-2015 American Community Survey (ACS) conducted by the U.S. Census Bureau, the average number of vehicles in renter-occupied units in the City of Falls Church is 1.18. At this level of analysis, the proposed rate of 1.32 spaces per unit is greater than the current demand for automobile parking in renter-occupied units.

Table: Vehicles Available per Renter-Occupied Household in Falls Church, Virginia

Number of Vehicles Available	Number of Households
0	244
1	1,347
2	512
3	0
4	21
5 or more	11

Source U.S. Census Bureau, American Community Survey 2011-2015 5-Year Estimates

Requested Parking Reduction:

On the Special Exception Application, the applicant requested a parking reduction of 3 percent from the number of spaces required by a strict application. This reduces the number of on-site spaces from 1062 to 1031 spaces. The previous parking reduction request was for a 13 percent reduction in the number of required spaces.

The third submission of the Site Plan indicates that parking has been reduced from 1031 spaces to 1017 spaces, and the overall parking reduction request has been changed to 5 percent rather than 3 percent.

Transportation Demand Management Plan

1. The TMP follows the City's standard template, which includes (1) a preamble briefly explaining the benefits of TDM, (2) specific goals for the site (as specified in the Voluntary Concessions), and (3) a table summarizing techniques that will be used to achieve the site specific goals. For each group of site users (site-wide, residential, and office/retail/cinema) techniques are broken down into four groups: (1) Site Design, Infrastructure and Options, (2) Promotion, Education, and Incentives, (3) Monitoring and Enforcement, and (4) Adaptive Management. These features should be maintained.

The TDM Plan indicates that shuttle service to Metrorail (West Falls Church Station) will be provided during peak hours on weekdays for the site's residential uses. The route of the Shuttle Service should not use Grove Ave to reach the Metrorail station. The goals and language in the TDM plan should be updated to ensure consistency with the approved Voluntary Concessions.

Annual Monitoring

10. The Parking Management Plan references annual monitoring for the first three years of occupancy. As part of the TDM Plan, annual reports are provided until such time after full occupancy when two (2) years consecutive commute surveys and trip counts demonstrate compliance with goals for the site as established by the Voluntary Concessions. The TDM Plan should be updated so that an annual report of TDM related activities of the site is provided each year for the life of the project.
11. Because the parking supply is segmented by use, data collection and reporting should be similarly segmented. In addition to the summary statistics described in the Parking Management Plan, all data collected should be supplied to City staff.

Comments Previously Addressed and Recorded for Reference

North West Street & Grove Avenue Intersection (Sheet C-0401)

1. The turning radius at the east corner of the North West Street and Grove Avenue intersection has been reduced to 35.0 feet. This turning radius should be maintained in order to increase traveler safety. The 73.0 foot turning radius at the south corner of the intersection remains to allow traffic to flow around the turn without interfering with vehicles in the turn lane onto Grove Avenue.

North West Street & Park Avenue Intersection (Sheet C-0401)

1. The northeast corner of the intersection has a turning radius of 25'. The north corner of the intersection shows a turning radius of 25'. This configuration increases traveler safety and should be maintained.

Sidewalk Dining (Sheet C-0401)

1. Areas for outdoor dining have been identified within the building zone and on the sidewalk adjacent to the building. Typical cross sections show 6' clear space. The City's Streetscape Standards recommend a 10' pedestrian clear space. The Streetscape Standards allow for exceptions and flexibility where these exceptions enhance the City's brand and support the stated goals. One of the goals of the Streetscape Standards is to create a "sense of place" that is enjoyable, memorable, and provides connective and harmonious outdoor spaces. Allowing additional space for outdoor dining while still providing accessible pedestrian clear space will contribute to the vibrancy and sense of place in the City.

North West Street Sidewalk (Sheet C-0401)

1. The proposed sidewalk along North West Street traveling adjacent to the W&OD Park has a continuous 5 foot planting buffer, as does the space in and near the intersection with Park Avenue. This buffer helps to provide a transition between the commercial development and adjacent residential area and should be maintained.

Broad Street Pedestrian Crossing (Sheet L1.0)

1. Consistent with the West Broad Street Small Area Plan, a brick paver crosswalk is shown at the new signalized crossing instead of a painted crosswalk. This feature should be maintained.

Bus Shelter (Sheet L2.2)

1. The bus stop name has been updated to read: W BROAD ST & N WEST ST. This feature should be maintained.

Steeple Court (Sheet C-0401)

1. Striping is proposed in the Steeple Court intersection to deter motorists from blocking the entrance/exit to Steeple Court. This is a deviation from the Conceptual Development Plan that achieves the same purpose. The design is effective at deterring motorists from blocking the intersection with Steeple Court and should be maintained.

Alternate Modes – Bus Routes (page 8)

1. The bus routing information included in the parking reduction request has been updated with the latest schedule changes. The 28A still provides service between the site and the West Falls Church Metro. The 3T line no longer serves W Broad Street.



CITY OF FALLS CHURCH

MEMORANDUM

DATE: July 24, 2018
TO: Carly Aubrey, Senior Planner
FROM: John C. Boyle, Zoning Administrator
SUBJECT: Mason Row Site Plan

I have reviewed the site plan submitted for the Mason Row project routed July 13, 2018 and have the following comments:

1. Note to the record: Previous comments regarding parking space dimensions, dead-end aisles, loading zone clearance and transformer location have been satisfactorily addressed.
2. Addressed, retained here as a note to the record: Reminder due to the scope of this project: Provide a CONSTRUCTION PARKING PLAN describing how vehicle access to the site will be managed, where construction vehicles will be staged and where workers will park.
3. As this project goes from conceptual to construction and leasing, the applicant is reminded not to dedicate or restrict parking spaces available to residents or tenants above what is called for in the plan. We have examples of existing developments that, once marketing began, offered additional parking spaces to prospective residents and tenants for a price. If the applicant foresees a need to have a supply of parking spaces available to market separately, these must be planned for now in addition to what is required by code and a TDM; they cannot come from the final approved mix of parking. This includes reserving spaces for the exclusive use of occupants beyond what is shown on this plan. In our experience, mixed-use shared parking plans collapse when spaces are leased or restricted to individual users contrary to the approved plan.
4. Signs: Existing developments have benefitted from an early discussion of signage that will be required by the finished development. At your earliest convenience, begin considering the number, location and size of anticipated signage, and what variances may be needed. Contact the Zoning office to begin that process.
5. Related to signs (above): If you anticipate a particular tenant will require dedicated spaces, such as those proximal to retail, services, elevators, entrances—those must be accounted for now. Dedication of spaces during occupancy that are not indicated on the approved site plan will require a site plan amendment. Example: A retailer posts parking spaces for their exclusive use, such as carry-out only, etc.



CITY OF FALLS CHURCH

TO: Gary Fuller, Akida Rouzi, Community Planning and Economic Development

FROM: Kate Reich, City Arborist

DATE: 07/26/2018

RE: Founders Row Site Plan, comments on submission 3

The Founders Row project will need to address the following 6 concerns to be acceptable:

1. Comply with the Falls Church Streetscape Standards' minimum 10-foot pedestrian zone with or without outdoor dining, and minimum 6 feet for the amenity/planting zone. On sheet C-0403 – W Broad Streetscape Plan, the streetscape cross-section shows 5 feet for the amenity/planting zone.
2. Sheet L3.0 – Landscape Plan-Streetscape: Euonymus plants, proposed for the W&OD Trail edge and the Founders Row buffer planting, are highly invasive and not acceptable. Native species will be required for any W&OD Trail planting, and strongly preferred on the Founders Row site.
3. Sheet L3.0 – Landscape Plan-Streetscape: Founders Row's voluntary concessions include the use of native plants, but only one of the eight shrub varieties proposed is native. Please use native species for all, or at least the majority, of the landscape plants.
4. Sheet L3.0 – Landscape Plan-Streetscape: Please use a different street tree along W Broad. Shumard oaks are still in the red oak group, which are highly susceptible to the bacterial leaf scorch currently affecting red oaks throughout Falls Church. Consider chestnut oak or swamp chestnut oak, with similar shape and large leaves, but in the white oak group.
5. Sheet L3.0 – Landscape Plan-Streetscape: The location of the tree-planting strip along the Park Avenue curb as shown on the Conceptual Streetscape Plan (sheet C-0210) is preferable to the currently-proposed location between the sidewalk and the building. Planting large-scale trees just ten feet from the building is likely to result in branch/building conflicts, and misshapen trees.
6. Sheet L3.0 – Landscape Plan-Streetscape: Planting is shown across Park Avenue from Founders Row. There is no public land at that location, so any planting would have to be a gift to the property owner.

Additional comments:

7. Widening the planting strip proposed along the W&OD Trail would promote healthier trees, extend the time before the trees damage pavement, and increase pedestrians' sense of safety.

8. On-site greenspace provides environmental and health benefits for the site and its users. Failure to provide on-site greenspace shifts that burden to neighboring properties and public land.



NOVA P A R K S

Northern Virginia Regional Park Authority

5400 Ox Road, Fairfax Station, VA 22039 | 703-352-5900 | Fax: 703-273-0905 | www.novaparks.com

July 30, 2018

Gary Fuller, Principal Planner
 City of Falls Church
 Department of Development Services
 300 Park Avenue, Room 300 West
 Falls Church, VA 22046

RE: Mason Row - Founders Way

Dear Mr. Fuller:

We have reviewed the above referenced plans and dated 3/23/16 and offer the following comments:

1. **Signalization at N. West Street** – In previous conversations with the applicant and the City of Falls Church, NOVA Parks expressed a desire to have input into the signal timing at N. West Street to ensure trail users are thoroughly considered in terms of timing and during. NOVA Parks had specific concerns that trail users would not have a dedicated crossing period free from traffic making right on red turns from SB N. West Street. NOVA Parks looks forward to working with the City in the future to ensure trail users can safely cross West St. with the assistance of this signal.
2. **Maintenance of Traffic** – The construction of the facilities on NOVA Parks' land depicted on the above referenced application will likely require the trail traffic to be rerouted for some period of time. NOVA Parks looks forward to reviewing Maintenance of Traffic Plan that is to be submitted by the applicant in the future.
3. **Licensing of Facilities and Construction** – The subject application proposes construction of facilities on NOVA Parks' land to include crosswalks, curb ramps, storm drains, landscape, sidewalks and bike/ped signal controls. These facilities and construction activities must be licensed for installation and ongoing maintenance through NOVA Parks. Given that the applicant will be responsible for construction of the improvements, and that most facilities will be integrated into Falls Church's traffic and storm water systems for maintenance, both parties will be signatories in this license.

City of Alexandria
 David M. Pritzker
 Scott Price

Arlington County
 Paul Ferguson
 Michael A. Nardolilli

Fairfax County
 Stella Koch
 Laura Grape

City of Fairfax
 Brian D. Knapp
 Arthur F. Little

City of Falls Church
 Barry D. Buschow
 Jeffrey Tarbert

Loudoun County
 Cate Magennis Wyatt
 Daniel Kaseman



NOVA P A R K S

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NOVA Parks will draft and submit for review the proposed license as the site plan moves closer to approval.

4. **Dominion Virginia Power** – Dominion Power holds an exclusive easement over the entire W&OD Railroad Park right of way. All aspects of this plan should be coordinated with Dominion Power including but not limited to the species of plants proposed, the location of any new/relocated utility and new subsurface structures such as culvert pipes. It is understood that the applicant has submitted plans to Dominion Power for review and awaits Dominion's approval.

Thank you for the opportunity to comment. Please contact me at 703-359-4615 or at mdepue@nvrpa.org if you have any questions or concerns.

Sincerely,

Michael DePue
Land Manager

City of Alexandria
David M. Pritzker
Scott Price

Arlington County
Paul Ferguson
Michael A. Nardolilli

Fairfax County
Stella Koch
Laura Grape

City of Fairfax
Brian D. Knapp
Arthur F. Little

City of Falls Church
Barry D. Buschow
Jeffrey Tarbert

Loudoun County
Cate Magennis Wyatt
Daniel Kaseman

PUBLIC WORKS NOTES:

- All requirements relative to City Code and Public Works Design and Construction Standards shall be submitted and approved before release of site plans.
- All required bonds, escrows, insurances, cash, etc., shall be submitted and approved before release of site plans.
- Plan and profile shall be submitted (inked on mylar size 24" x 36") for all storm sewers and street projects in public right-of-ways or public easements and approved before release of site plans.
- Contractor is responsible to notify all utility companies before construction begins.
- All datum shall be based on USC and GS datum.
- Bonds shall not be released until the receipt and approval by the City of as-built site plan, plans and profiles, etc.
- All underground utilities and transformers shall be shown on site plan and confirmed per location on as-built plan.
- The owner shall notify the Director of Public Works in Writing three days prior to the beginning of all street or storm sewer work shown on the site plan.
- The installation of improvements as required in this article shall in no case serve to bind the city to accept such improvements for the maintenance, repair or operation thereof, but such acceptance, shall be subject to the existing regulations concerning the acceptance of each type of improvement.
- No lane closures are permitted on West Broad Street before 9:30 AM and after 3:00 PM. Only one lane may be closed at a time. VDOT requirements for traffic control will govern.
- Normal construction hours are 7:00 AM to 9:00 PM Monday, through Friday and 9:00 AM to 9:00 PM on weekends and holidays.
- Permits are required for construction work located within the established City right-of-way.

SITE PLAN SHEET INDEX

C-0101 COVER SHEET	E1 PHOTOMETRIC PLAN
C-0201 NOTES AND ZONING TABULATIONS	L1.0 MATERIALS & PAVING PLAN
C-0202 ARCHITECTURAL PROJECT DATA	L2.0 STREETScape DETAILS
C-0203 VOLUNTARY CONCESSIONS	L2.1 STREETScape DETAILS
C-0204 VOLUNTARY CONCESSIONS	L2.2 STREETScape DETAILS
C-0205 VOLUNTARY CONCESSIONS	L2.5 PROJECT HARDScape DETAILS
C-0206 VOLUNTARY CONCESSIONS	L2.6 STREETScape SECTIONS
C-0207 VOLUNTARY CONCESSIONS	L3.0 LANDScape PLAN - STREETScape
C-0208 VOLUNTARY CONCESSIONS	L3.1 LANDScape NOTES & DETAILS
C-0209 APPROVED SPECIAL EXCEPTION CONCEPTUAL DEVELOPMENT PLAN	L3.2 LANDScape DETAILS
C-0210 APPROVED SPECIAL EXCEPTION CONCEPTUAL DEVELOPMENT PLAN	L4.0 LIMITS OF IRRIGATION PLAN - STREETScape
C-0211 DETAILS	A1.01 GROUND FLOOR LEVEL
C-0212 DETAILS	A1.02 LEVEL 1A
C-0213 DETAILS	A1.03 SECOND FLOOR LEVEL
C-0214 DETAILS	A1.04 THIRD FLOOR LEVEL
C-0301 EXISTING CONDITIONS PLAN	A1.05 4TH AND 5TH FLOOR LEVELS
C-0302 EXISTING CONDITIONS NOTES	A1.06 6TH FLOOR LEVEL
C-0303 DEMOLITION PLAN	A1.07 PARKING LEVEL 0
C-0304 PRELIMINARY SUBDIVISION & CONSOLIDATION PLAT	A1.08 PARKING LEVEL - 1
C-0305 PRELIMINARY SUBDIVISION & CONSOLIDATION PLAT NOTES	A1.09 PARKING LEVEL - 2
C-0401 LAYOUT PLAN	A2.00 SOUTH AND EAST ELEVATIONS
C-0402 GEOMETRIC PLAN	A2.01 NORTH, NW AND WEST ELEVATIONS
C-0403 WEST BROAD STREETScape PLAN	A2.02 MARKET SQ NORTH & SOUTH ELEVATIONS
C-0404 NORTH WEST STREET ENLARGMENT PLAN	A2.03 MASON AVE. EAST & WEST ELEVATIONS
C-0405 GROVE AVENUE ENLARGMENT PLAN	A3.01 CONCEPTUAL SKETCH/ELEVATION
C-0406 STRIPING PLAN	A4.01 PARKING ALLOCATION
C-0407 SIGNAGE PLAN	A4.02 PARKING ALLOCATION
C-0408 AERIAL VIEW BUILDING SCHEMATIC	A4.03 BICYCLE ALLOCATION
C-0409 LOADING AREA 1 - TRUCK MOVEMENTS	A5.01 SHADOW STUDY
C-0410 LOADING AREA 2 - TRUCK & GARABAGE TRUCK MOVEMENTS	
C-0411 PUBLIC STREET TRUCK MOVEMENTS	
C-0501 GRADING PLAN	
C-0502 GRADING ENLARGEMENT	
C-0503 GRADING ENLARGEMENT	
C-0504 GRADING ENLARGMENT	
C-0505 LIMITS OF STREET PAVING	
C-0601 EROSION & SEDIMENT CONTROL PLAN - PHASE 1	
C-0602 EROSION & SEDIMENT CONTROL PLAN - PHASE 2	
C-0603 EROSION & SEDIMENT CONTROL PLAN - PHASE 3	
C-0604 EROSION & SEDIMENT CONTROL NARRATIVE	
C-0605 EROSION & SEDIMENT CONTROL DETAILS	
C-0701 EXISTING DRAINAGE DIVIDES	
C-0702 PROPOSED DRAINAGE DIVIDES	
C-0703 STORMWATER MANAGEMENT AND ONSITE BMP CALCULATIONS	
C-0704 STORMWATER HYDROGRAPHS	
C-0705 STORMWATER MANAGEMENT DETAILS	
C-0706 BMP SCHEMATIC	
C-0707 BIORETENTION PLANTER PLAN AND DETAILS	
C-0708 BMP MANUFACTURED DEVICE DETAILS	
C-0801 STORM SEWER PROFILES	
C-0802 STORM SEWER PROFILE & DETAILS	
C-0901 UTILITY PROFILES	
C-0902 UTILITY PROFILES	
C-0903 SANITARY CAPACITY STUDY	
C-1201 TREE SURVEY	
C-1202 TREE PRESERVATION NOTES AND DETAILS	
C-1203 TREE INVENTORY	
C-1204 TREE INVENTORY	
C-1401 PRELIMINARY DRY UTILITY PLAN	

PUBLIC UTILITIES NOTES:

FAIRFAX WATER - WATER MAIN CONSTRUCTION NOTES

- ALL WATER MAIN CONSTRUCTION, TESTING AND SAMPLING SHALL COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS OF FAIRFAX WATER'S CONSTRUCTION PRACTICE MANUAL AND THE REQUIREMENTS OF THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL. ALL WATER MAIN, FITTINGS AND APPURTENANCES SHALL COMPLY WITH FAIRFAX WATER'S "APPROVED PRODUCTS LIST". THE CONSTRUCTION PRACTICE MANUAL AND APPROVED PRODUCTS LIST MAY BE FOUND ON THE FW WEBSITE AT WWW.FAIRFAXWATER.ORG.
- THE DEVELOPER SHALL REQUEST INSPECTION BY FAIRFAX WATER THREE DAYS PRIOR TO COMMENCING CONSTRUCTION OF THE WATER MAIN (PHONE NUMBER 703-289-6388 OR 6389).
- NO WATER MAIN CONSTRUCTION IS PERMITTED, OR VALVES OPERATED WITHOUT PRIOR NOTIFICATION OF FAIRFAX WATER (PHONE NUMBER 703-289-6388 OR 6389).
- MAXIMUM WORKING PRESSURE SHALL BE 65 PSI.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ANY RELOCATION OR REMOVAL OF WATER MAINS AND APPURTENANCES DUE TO THE DEVELOPMENT OF THIS PROPERTY. SERVICE LINES WHICH WILL NO LONGER BE USED SHALL BE REMOVED AND DISCONNECTED AT THE WATER MAIN BY THE DEVELOPER, AND THE CORPORATION STOP SHUT-OFF AND CAPPED, OR REMOVED AND PLUGGED (WITH A TAPERED PLUG) AS DIRECTED BY THE FAIRFAX WATER INSPECTOR. THE DEVELOPER MAY ALSO BE REQUIRED TO USE ADDITIONAL PIPE RESTRAINT OR ALTERNATIVE CONSTRUCTION METHODS NOT SHOWN ON THE PLANS IF FIELD CONDITIONS WARRANT, AS DETERMINED BY THE FAIRFAX WATER INSPECTOR.
- ALL NEW AND EXISTING VALVE BOXES MUST BE FULLY ADJUSTED TO CONFORM TO THE FINAL ASPHALT GRADE. NO PAVING ADJUSTERS WILL BE PERMITTED.
- ALL NEW HYDRANTS SHALL BE INSTALLED WITH FACTORY SHOP COATINGS TO MATCH THE FOLLOWING:
 - HYDRANT BARREL: KENNEDY SAFETY RED OR MUELLER RED #10 & TOPS AND CAPS: KENNEDY SILVER OR MUELLER SILVER #18 OR
 - HYDRANT BARREL AND CAPS: KENNEDY SILVER OR MUELLER SILVER #18 & TOPS: KENNEDY SAFETY RED OR MUELLER RED #10
- ALL NEW D.I.P. WATER MAIN SHALL BE WRAPPED WITH POLYETHYLENE ENCASEMENT. THERE SHALL BE A 6-INCH ENVELOPE OF 21A SELECT FILL FOR ALL POLYETHYLENE WRAPPED WATER MAIN. SEE THE TRENCH DETAILS ON THE CURRENT VERSION OF FW STANDARD DETAILS. THESE DETAILS MAY BE FOUND ON THE FW WEBSITE AT WWW.FAIRFAXWATER.ORG.
- WHEN CONNECTING TO AN EXISTING WATER MAIN, CONTRACTOR MUST EXCAVATE AND EXPOSE NEAREST VALVE IN THE PRESENCE OF A FAIRFAX WATER INSPECTOR IN ORDER TO DETERMINE THE CONDITION OF ITS RESTRAINT. IF FW INSPECTOR DEEMS IT NECESSARY, CONTRACTOR MUST RESTRAIN THE VALVE OR REPLACE THE RESTRAINT SYSTEM.
- DURING WET TAP INSTALLATIONS THE CONTRACTOR SHALL SAVE AND TAG THE COUPON CLEARLY SHOWING THE DATE, LOCATION, DIAMETER AND PIPE MATERIAL. THE TAGGED COUPON SHALL BE GIVEN TO FAIRFAX WATER'S INSPECTOR FOR FURTHER PROCESSING. IF ANY PIPE IS TO BE ABANDONED, PRIOR TO CAPPING THE MAIN, A SMALL SECTION OF PIPE SHALL BE REMOVED, TAGGED AS DESCRIBED ABOVE AND GIVEN TO THE FAIRFAX WATER INSPECTOR.
- THE PROPERTY DESCRIBED ON THIS PLAN IS LOCATED IN AN AREA WHERE THE WATER PRESSURE WILL EXCEED 80 P.S.I. IN ACCORDANCE WITH FAIRFAX WATER RULES AND REGULATIONS AND THE FAIRFAX COUNTY PLUMBING CODE, A PRESSURE REGULATION VALVE MUST BE INSTALLED BY THE PROPERTY OWNER IN THE BUILDING PLUMBING SYSTEM IN ORDER TO ELIMINATE WATER HAMMER AND UNNECESSARY WASTAGE OF WATER. PROVISIONS FOR THERMAL EXPANSION PROTECTION SHALL BE REQUIRED.
- FIRE LINES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER. FAIRFAX WATER'S OWNERSHIP AND MAINTENANCE RESPONSIBILITY INCLUDES AND STOPS AT THE BRANCH VALVE AT FAIRFAX WATER'S MAIN IN THE RIGHT-OF-WAY OR EASEMENT.
- IN ORDER TO MAINTAIN ADEQUATE DOMESTIC PRESSURE, BOOSTER PUMPS ARE REQUIRED TO SERVE ELEVATIONS ABOVE 360 FEET M.S.L.
- USE Q20 = 3000 GPM
PROPOSED FIRE HYDRANT "3"
S = 49 PSI
R = 45 PSI @ 1,000 GPM
Q20 = 3,000 GPM
HYDRANT ELEV. = 337'
LOW HGL = 445'
CALCULATION DATE = 11/30/2016

PLANNING NOTES:

SPECIAL EXCEPTION:

- SPECIAL EXCEPTION FOR:
- BUILDING HEIGHT BONUS - MAX. 85'
 - RESIDENTIAL USE WITHIN MIXED-USE DEVELOPMENT IN B-1 DISTRICT. APPROVED ON JANUARY 11, 2016 (RESOLUTION 2016-04)
 - A SPECIAL EXCEPTION AMENDMENT WAS SUBMITTED TO REMOVE THE HOTEL USE AND REPLACE IT WITH 72 AGE RESTRICTED APARTMENTS. THIS AMENDMENT IS CURRENTLY UNDER REVIEW.

ARBORIST NOTES:

RPI MAP INFORMATION:

RPC #'s:
51-202-015, 51-202-014, 51-202-013, 51-202-012,
51-202-011, 51-202-010, 51-202-009,
51-202-028, 51-202-005, 51-202-004, 51-202-003

MISCELLANEOUS NOTES:

- Upon satisfactory completion of the installation of required improvements, as shown on the approved site plan or a section thereof, the developer shall submit to the Department of Planning five copies of an as-built site plan certified by the engineer, architect and/or surveyor for approval for conformity with the approved site plan.
- The As-Built Site Plan shall be submitted and approved prior to the issuance of the final Occupancy Permit.
- Final approval by the Planning Commission of this site plan shall expire one year after the day of such approval if building permits have not been obtained for construction in accordance therewith, unless an extension is granted by the City.
- In any development involving a condominium, cooperative, automatic owners' association or other form of ownership in which there is common area within the development, the documents pertaining to this form of ownership shall be approved by the City Attorney prior to issuance of any Occupancy Permit.
- Any proposed changes or revisions during the execution of or subsequent to implementation of the approved site plan shall be subject to City review and approval.
- The federal emergency management agency's flood insurance rate map for the City of Falls Church, Virginia, map number 5100540001c, revised date July 16, 2004, designates the property as being in zone x, "Areas determined to be outside the 0.2% annual chance floodplain."

WAIVERS:

- A WAIVER OF THE 100' DISTANCE FROM A COMMERCIAL ENTRANCE OR EXIT TO AN "R" DISTRICT [SECT. 48-938 (d)]
 - PROPOSED SITE ENTRANCE OFF OF PARK AVENUE WITH A DISTANCE OF 50' TO RESIDENTIAL DISTRICT ACROSS PARK AVENUE.
- A WAIVER REQUESTED TO REDUCE THE BUFFER DENSITY TO THAT SHOWN ON THE PLAN. [SECT. 48-1183]
 - ALONG THE EASTERN PROPERTY LINE ADJACENT TO RPC #51-202-016 DUE TO THE EXISTING PUBLIC STORM SEWER AND A PROPOSED CITY STORM SEWER EASEMENT. SEE DETAIL SHEET L3.0.

MISCELLANEOUS NOTES:

Easement(s):

- PUBLIC SIDEWALK & UTILITIES EASEMENT ALONG WEST BROAD STREET, NORTH WEST STREET & PARK AVENUE AS SHOWN ON THE PRELIMINARY SUBDIVISION PLAT.
- PUBLIC STORM SEWER EASEMENT FOR THE EXISTING STORM PIPE ON THE EASTERN EDGE OF THE SITE.

Subdivision(s) and Consolidation(s):

CONSOLIDATION OF THE (11) PARCELS INCLUDED IN THIS DEVELOPMENT.

Dedication(s):

- 0.1' (25 SF) DEDICATION FOR THE EAST-WEST PORTION OF NORTH WEST STREET TO CREATE A 25.0' DISTANCE FROM CENTERLINE TO PROPERTY LINE.
- 1.415 SF. DEDICATION ON WEST BROAD STREET TO ALIGN THE PROPERTY AT THE EASTERN EDGE OF THE SITE.

Site Plan Approval:

APPROVALS

PLANNING COMMISSION FINAL APPROVAL:

VARIANCE (Date(s) of Approval by BZA):

- APPLICATION A1561-14 - JULY 17, 2014 VARIANCE APPROVED TO APPEAL A DETERMINATION FROM THE ZONING ADMINISTRATOR THAT A NEW PERMIT FROM THE H.A.R.B. IS REQUIRED TO DEMOLISH THE HISTORIC STRUCTURE. SEE SHEET C-0302 FOR THE RESOLUTION.
- APPLICATION V1585-16 - OCTOBER 13, 2016 VARIANCE APPROVED, WITH CONDITIONS AND RESTRICTIONS, TO ALLOW A SIDE YARD SETBACK OF 10' INSTEAD OF 20' ON THE PORTION OF THE SITE IDENTIFIED AS 919 PARK AVENUE. SEE SHEET C-0302 FOR THE RESOLUTION.

BOND(S) POSTED (Date(s) and Amount(s)):

FINAL STAFF APPROVAL:

Planning _____ Signature : _____ Date : _____
 Public Works _____

SUBSEQUENT ACTIONS:

BUILDING PERMIT ISSUED (Date) : _____
 AS-BUILT APPROVED (Date) : _____
 COMMON AREA DOCUMENTS APPROVED (Date) : _____
 LANDSCAPE ESCROW ACCEPTED (Date) : _____
 CERTIFICATE OF OCCUPANCY (Date) : _____
 OTHER : _____

Revisions Approved prior to Certificate of Occupancy:

Description	Date Approved

FOUNDERS ROW
 NAME OF PROJECT
 INTERSECTIONS OF WEST BROAD STREET, NORTH WEST STREET, AND PARK AVENUE
 ADDRESS
 MILLCREEK RESIDENTIAL C/O JOE MUELLER 301-255-6047
 CONTRACT PURCHASER TELEPHONE #
 6701 DEMOCRACY BOULEVARD SUITE 500 BETHESDA, MD 20817 240-292-6895
 ADDRESS FAX #
 CURRENT PROPERTY OWNERS:
 SEE LIST OF PROPERTY OWNERS ON SHEET C-0305.

FIRE MARSHAL NOTES:

All requirements relative to City Fire Code and Virginia Building Code must be compiled with.

USE GROUP CLASSIFICATION:	TYPE OF CONSTRUCTION:
UNDERGROUND LEVELS: S2 GROUND LEVEL: R-2, M, A-1, A-2, S-2 LEVEL 1A: R-2, B, S-2 LEVEL 2: R-2, A-1, A-3 LEVEL 3 & HIGHER: R-2	PARKING LEVELS (ALL): TYPE IA GROUND LEVEL & MOVIE THEATER: TYPE IA RESIDENTIAL LEVELS BELOW PODIUM: TYPE IA RESIDENTIAL LEVELS ABOVE PODIUM: TYPE IIIA FLOW AT FIRE HYDRANT: 2700 GPM

**APPLICATION FOR REVIEW AND APPROVAL BY
 CITY OF FALLS CHURCH, VIRGINIA**



WALTER L. PHILLIPS INCORPORATED ESTABLISHED 1945
 Engineers • Surveyors • Planners
 Landscape Architects • Arborists
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 www.WLPINC.com

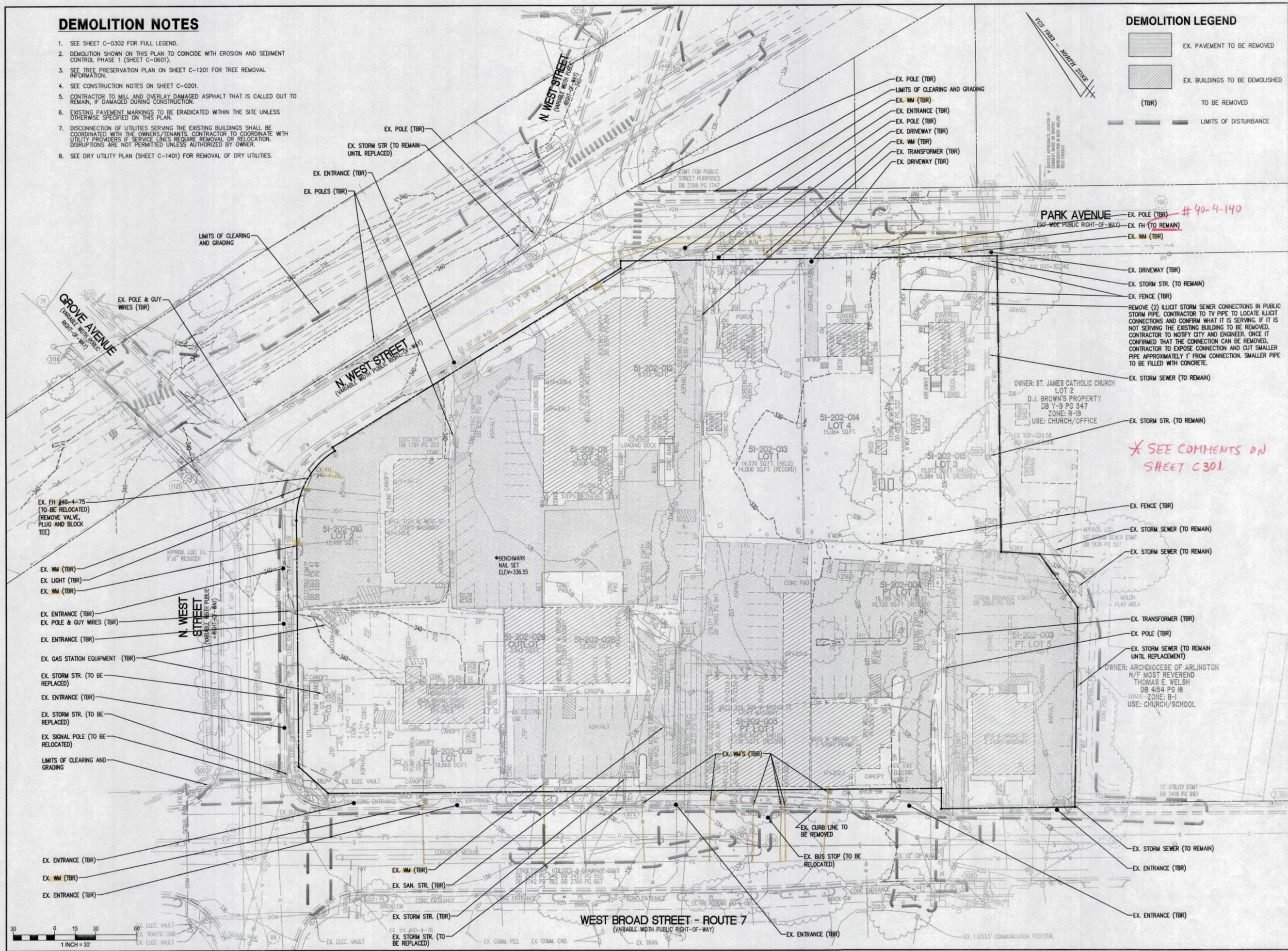
Site Plan **MUNIS # 2013 1165** C-0101

DEMOLITION NOTES

- SEE SHEET C-0302 FOR FULL LEGEND.
- DEMOLITION SHOWN ON THIS PLAN TO COINCIDE WITH EROSION AND SEDIMENT CONTROL PHASE 1 (SHEET C-0601).
- SEE TREE PRESERVATION PLAN ON SHEET C-1201 FOR TREE REMOVAL INFORMATION.
- SEE CONSTRUCTION NOTES ON SHEET C-0201.
- CONTRACTOR TO MILL AND OVERLAY DAMAGED ASPHALT THAT IS CALLED OUT TO REMAIN, IF DAMAGED DURING CONSTRUCTION.
- EXISTING PAVEMENT MARKINGS TO BE ERADICATED WITHIN THE SITE UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
- DISCONNECTION OF UTILITIES SERVING THE EXISTING BUILDINGS SHALL BE COORDINATED WITH THE OWNERS/TENANTS. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS IF SERVICE LINES REQUIRE REMOVAL OR RELOCATION. DISRUPTIONS ARE NOT PERMITTED UNLESS AUTHORIZED BY OWNER.
- SEE DRY UTILITY PLAN (SHEET C-1401) FOR REMOVAL OF DRY UTILITIES.

DEMOLITION LEGEND

- EX. PAVEMENT TO BE REMOVED
- EX. BUILDINGS TO BE DEMOLISHED
- (TBR) TO BE REMOVED
- LIMITS OF DISTURBANCE



PARK AVENUE
(50' WIDE PUBLIC RIGHT-OF-WAY)

EX. POLE (TBR) #40-4-140
EX. FH (TO REMAIN)
EX. WM (TBR)

EX. DRIVEWAY (TBR)
EX. STORM STR. (TO REMAIN)
EX. FENCE (TBR)
REMOVE (2) ILLEGAL STORM SEWER CONNECTIONS IN PUBLIC STORM PIPE. CONTRACTOR TO TV PIPE TO LOCATE ILLEGAL CONNECTIONS AND CONFIRM WHAT IT IS SERVING. IF IT IS NOT SERVING THE EXISTING BUILDING TO BE REMOVED, CONTRACTOR TO NOTIFY CITY AND ENGINEER. ONCE IT IS CONFIRMED THAT THE CONNECTION CAN BE REMOVED, CONTRACTOR TO EXPOSE CONNECTION AND CUT SMALLER PIPE APPROXIMATELY 1' FROM CONNECTION. SMALLER PIPE TO BE FILLED WITH CONCRETE.

EX. STORM STR. (TO REMAIN)

** SEE COMMENTS ON SHEET C301*

EX. FENCE (TBR)
EX. STORM SEWER (TO REMAIN)
EX. STORM SEWER (TO REMAIN)

EX. TRANSFORMER (TBR)
EX. POLE (TBR)
EX. STORM SEWER (TO REMAIN UNTIL REPLACEMENT)

OWNER: ARCHDIOCESE OF ARLINGTON
N/F MOST REVEREND THOMAS E. WELSH
DB 4154 PG 18
GRASS ZONE: B-1
USE: CHURCH/SCHOOL

EX. STORM SEWER (TO REMAIN)
EX. ENTRANCE (TBR)
EX. ENTRANCE (TBR)

Engineers • Surveyors • Planners
Landscape Architects • Arborists

WALTER L. PHILLIPS

INCORPORATED ESTABLISHED 1946

DATE: SUBMIT 02/20/18, SUB 2/20/18, GMP 02/20/18, SUB 03/17/2018, SUB 03/17/2018
SCALE: 1" = 30'

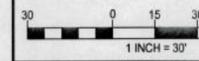
CHECKED: [Signature]
DRAWN: [Signature]

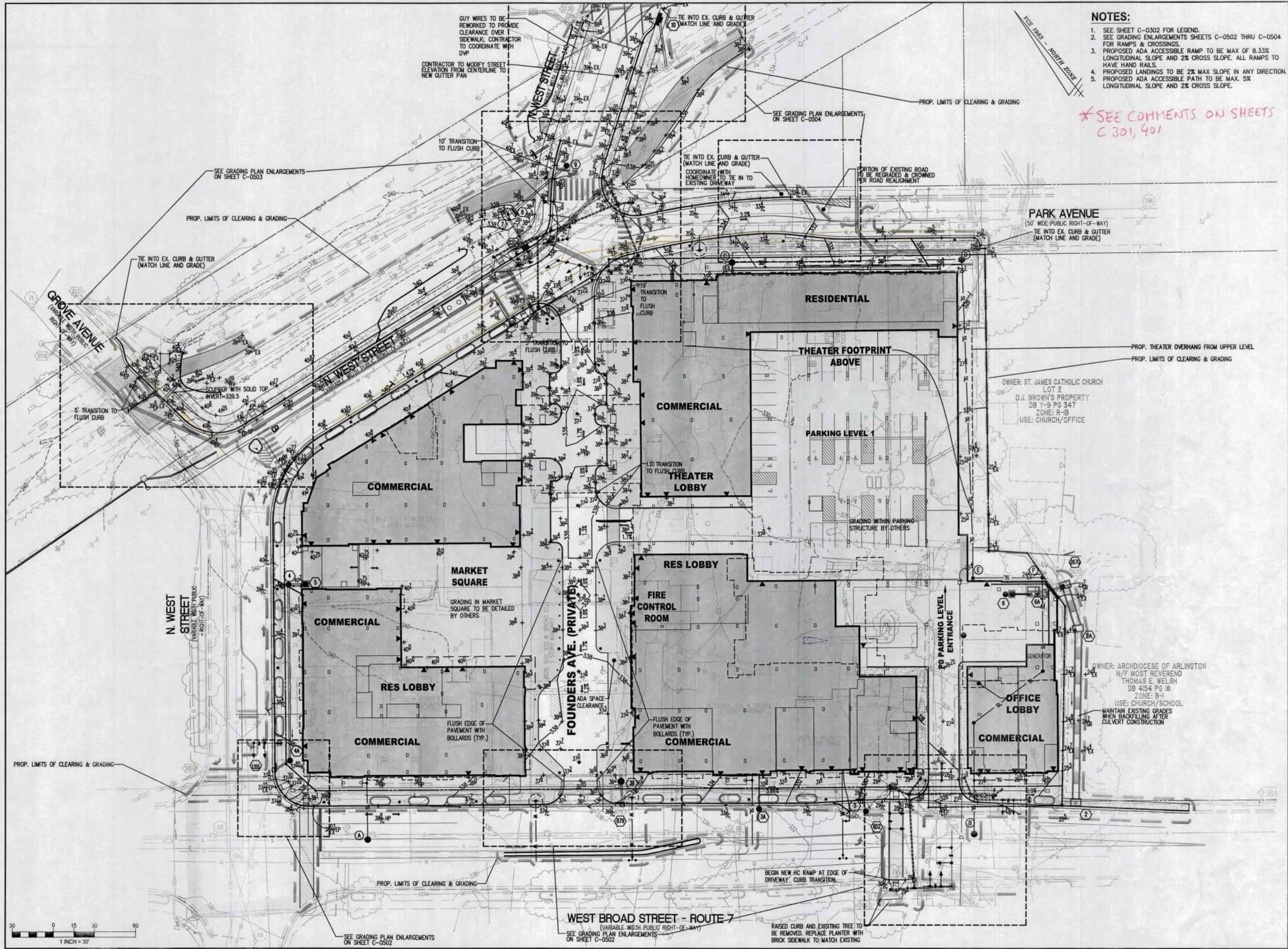
NO.	DESCRIPTION	DATE
	GMP SET	02/11/18

DEMOLITION PLAN

FOUNDERS ROW

AT THE INTER SECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA





- NOTES:**
1. SEE SHEET C-0302 FOR LEGEND.
 2. SEE GRADING ENLARGEMENTS SHEETS C-0502 THRU C-0504 FOR RAMP & CROSSINGS.
 3. PROPOSED ADA ACCESSIBLE RAMP TO BE MAX OF 8.33% LONGITUDINAL SLOPE AND 2% CROSS SLOPE. ALL RAMP TO HAVE HAND RAILS.
 4. PROPOSED LANDINGS TO BE 2% MAX SLOPE IN ANY DIRECTION.
 5. PROPOSED ADA ACCESSIBLE PATH TO BE MAX. 5% LONGITUDINAL SLOPE AND 2% CROSS SLOPE.

** SEE COMMENTS ON SHEETS C 301, 401*

Engineers • Surveyors • Planners
 Landscape Architects • Arborists
WALTER L. PHILLIPS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 WWW.WLPINC.COM

INCORPORATED
 ESTABLISHED 1964
 DATE: 8/22/2018, 8/22/2018, 8/22/2018, 8/22/2018
 SCALE: 1" = 30'

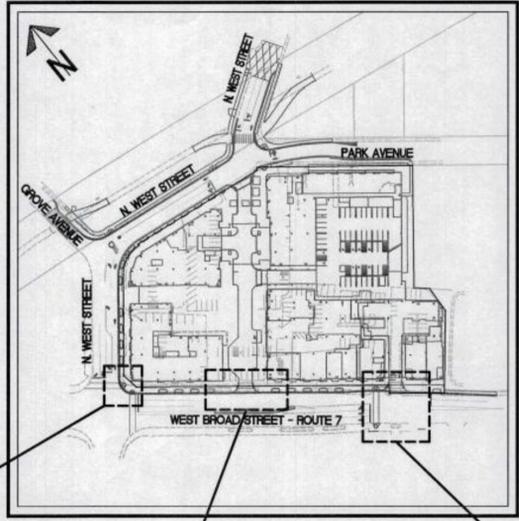


NO.	DESCRIPTION	DATE
	GMP SET	8/21/18

GRADING PLAN
FOUNDERS ROW
 AT THE INTER SECTION OF WEST BROAD STREET,
 NORTH WEST STREET & PARK AVENUE
 CITY OF FALLS CHURCH, VIRGINIA

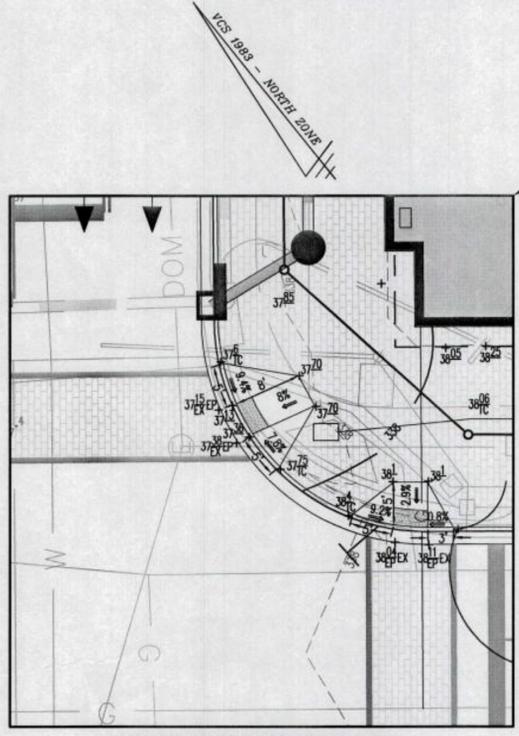
LEGEND		LEGEND		LEGEND	
PROPOSED	DESCRIPTION	EXISTING	DESCRIPTION	PROPOSED	DESCRIPTION
	CURB & GUTTER CG-2		HANDICAP RAMP (CG-12)		
	TRANSITION FROM CG-6 TO CG-6R		GUARDRAIL FENCE		
	SANITARY SEWER		TRAFFIC FLOW		
	SANITARY LATERAL		LIGHT		
	CLEAN OUT		DOOR		
	STORM SEWER		TREES		
	WATER MAIN		CONTOURS		
	FIRE HYDRANT		SPOT ELEVATION		
	PLUG		DRAINAGE FLOW DIRECTION		
	OVERHEAD WIRES		TOP OF CURB		
	UTILITY POLE		BOTTOM OF CURB		
	UNDERGROUND ELECTRIC		TOP OF WALL		
	TELEPHONE		BOTTOM OF WALL		
	GAS MAIN		HIGH POINT		
	ELECTRICAL		LIMITS OF CLEARING AND GRADING		
	TRANSFORMER				

KEY MAP NOT TO SCALE

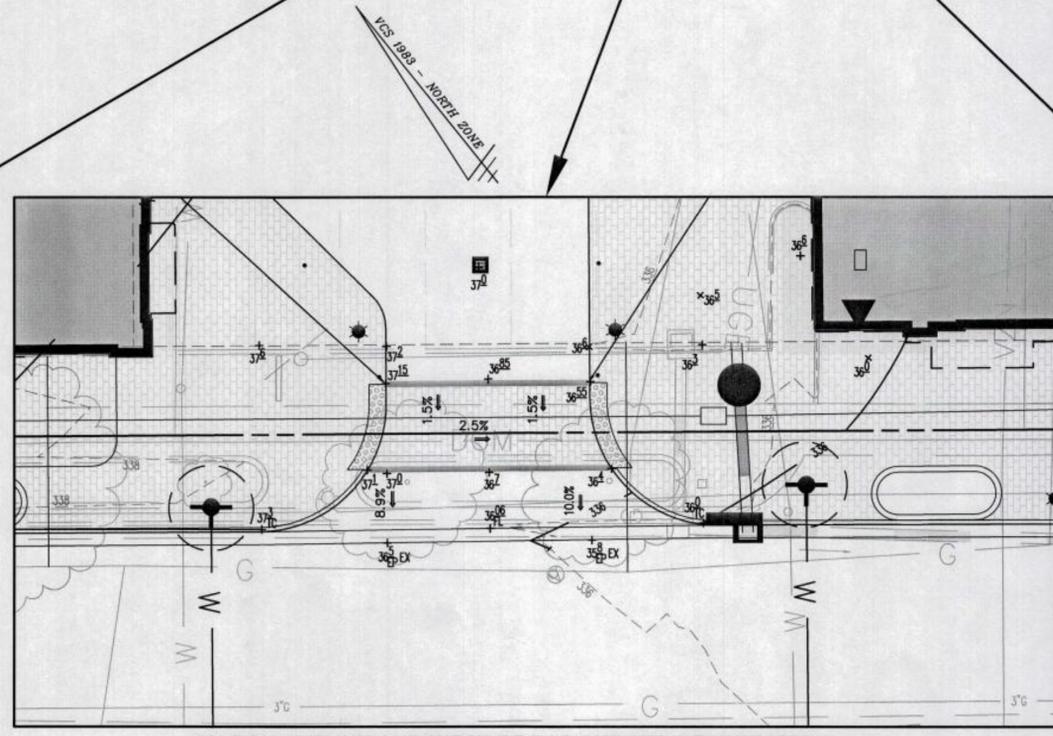


- NOTES**
1. PROPOSED ADA ACCESSIBLE RAMP TO BE MAX OF 8.33% LONGITUDINAL SLOPE AND 2% CROSS SLOPE. ALL RAMP TO HAVE HAND RAILS.
 2. PROPOSED LANDINGS TO BE 2% MAX SLOPE IN ANY DIRECTION.
 3. PROPOSED ADA ACCESSIBLE PATH TO BE MAX. 5% LONGITUDINAL SLOPE AND 2% CROSS SLOPE.

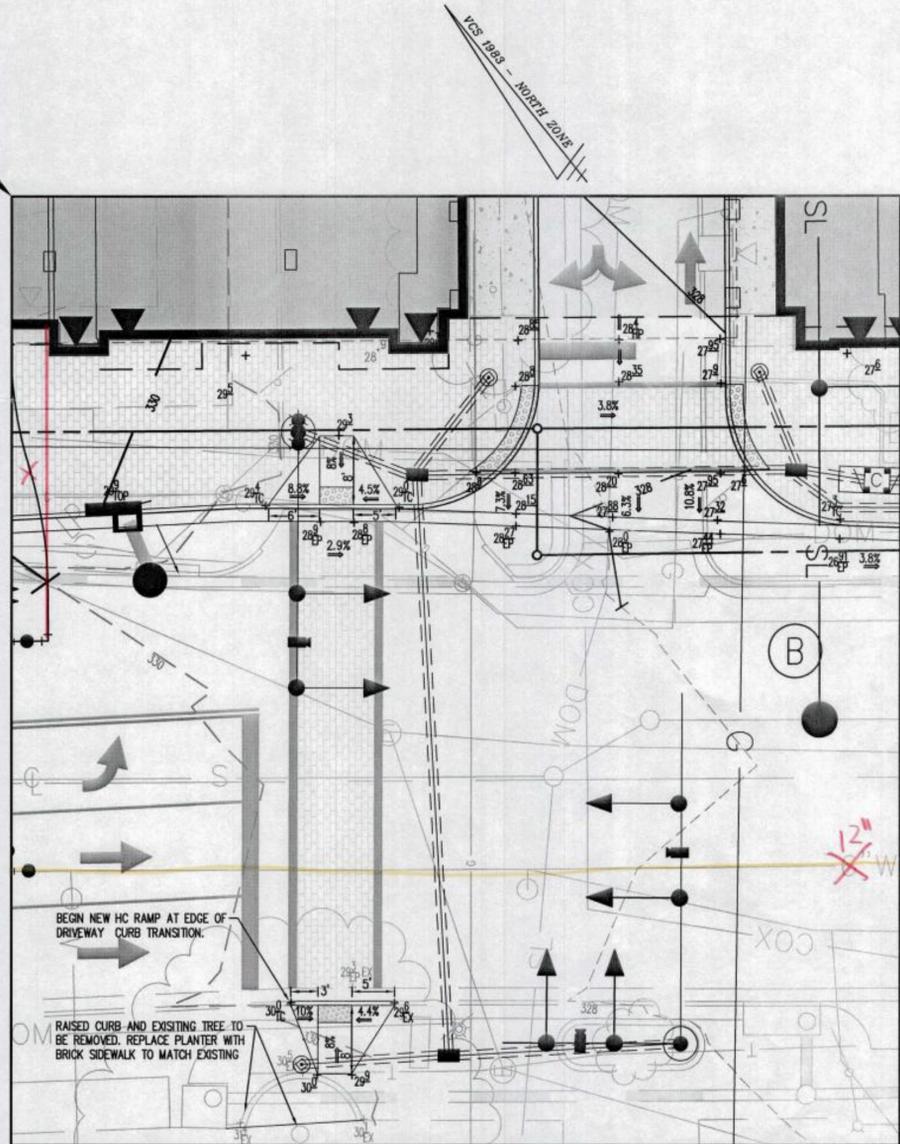
X SEE COMMENTS ON SHEETS C 301, 401



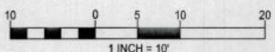
NORTH WEST STREET AND WEST BROAD STREET INTERSECTION



MASON AVENUE AND WEST BROAD STREET INTERSECTION



PROPOSED SIGNALIZED INTERSECTION ON WEST BROAD STREET



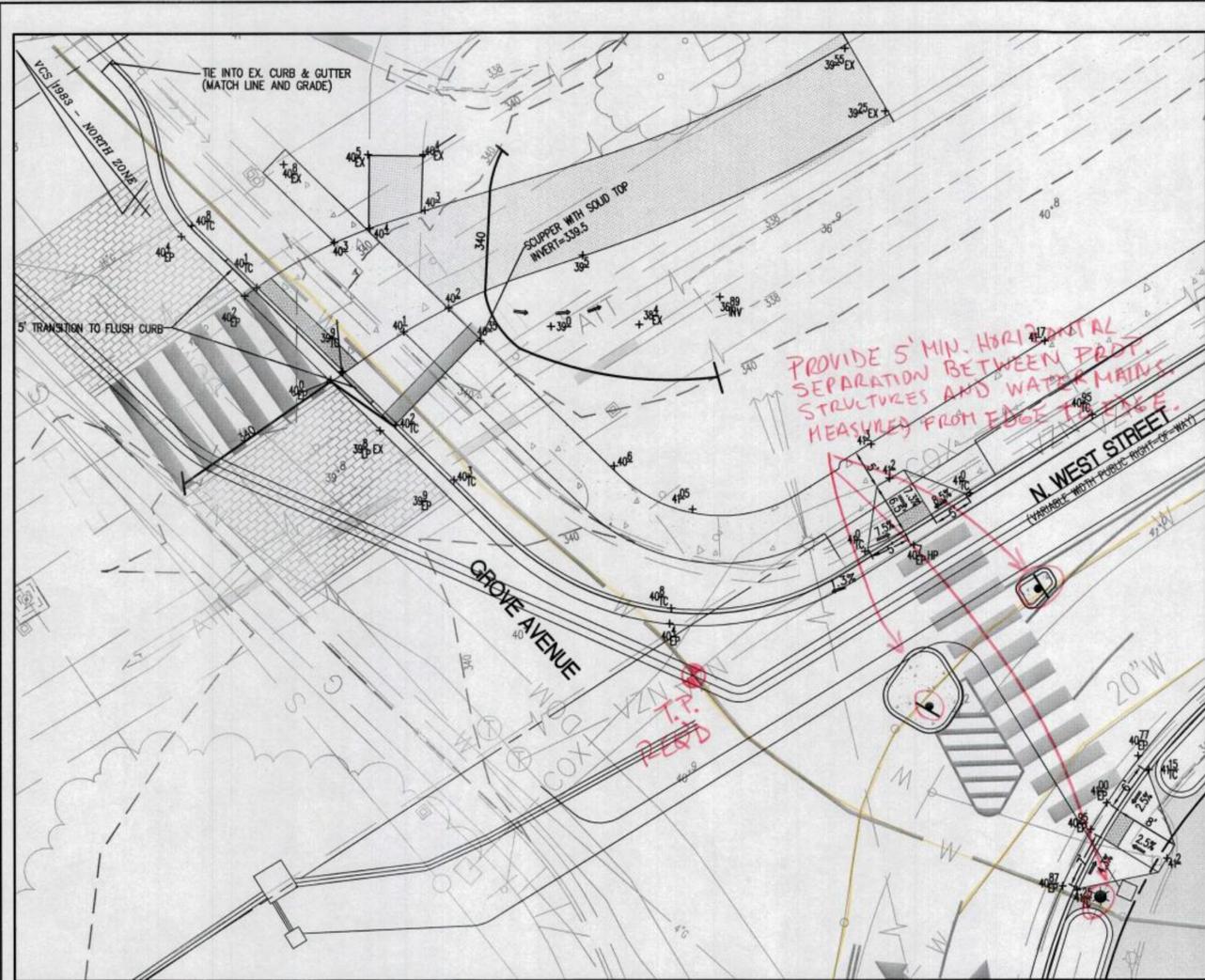
GRADING ENLARGEMENT

FOUNDERS ROW
AT THE INTERSECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA

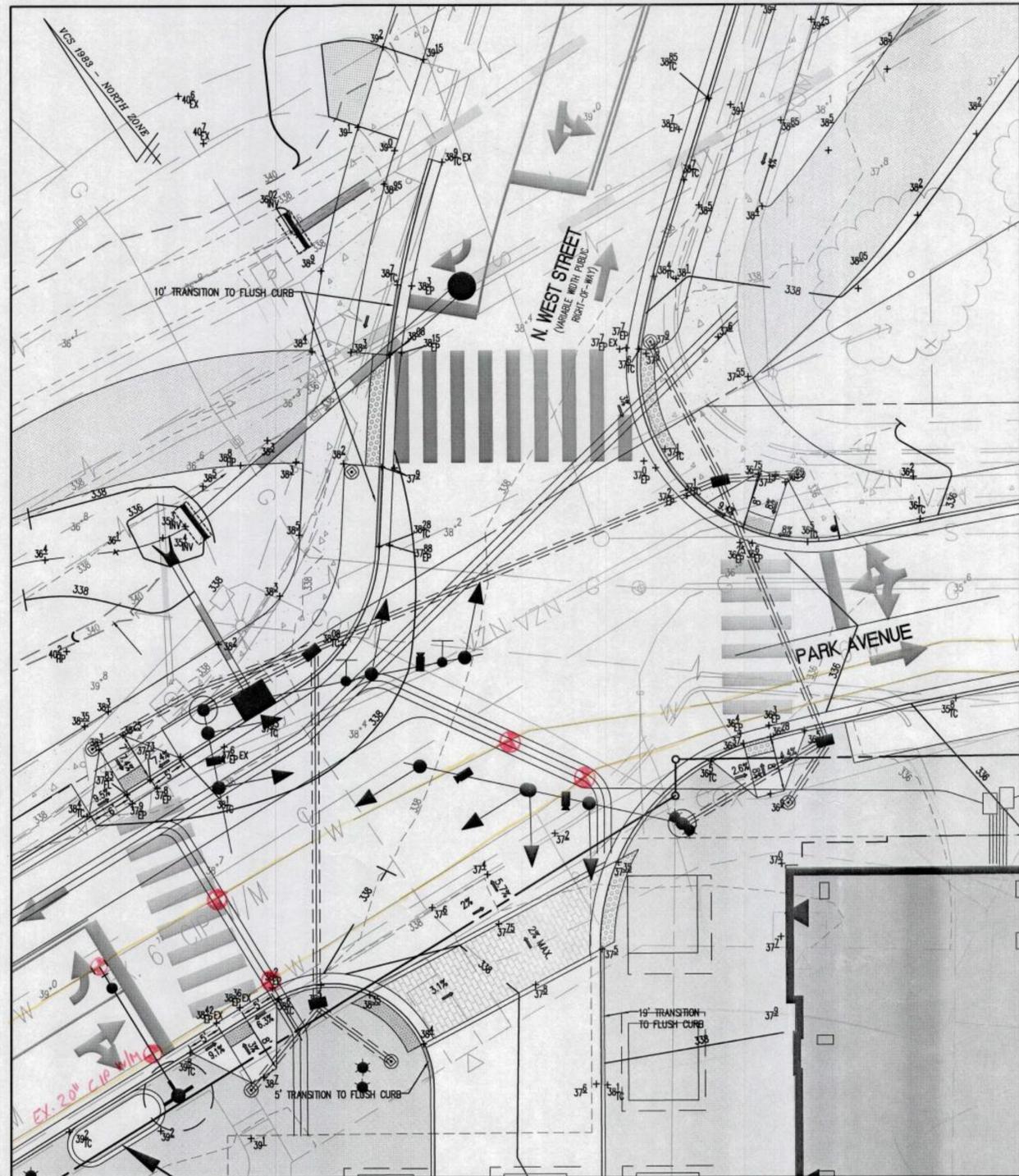


WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1945
DATE: SUBMIT 9/22/2018, SUB 202018, GUP 9/27/2018, SUB 803 7/10/2018
SCALE: 1" = 10'

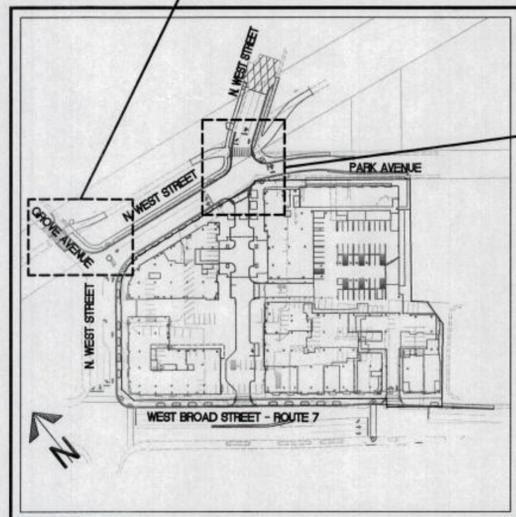
Engineers • Surveyors • Planners
Landscape Architects • Arborists
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPINC.com



GROVE AVENUE AND NORTH WEST STREET INTERSECTION



PARK AVENUE AND NORTH WEST STREET INTERSECTION



KEY MAP

* SEE COMMENTS ON SHEET C301, 401

NOTES

1. PROPOSED ADA ACCESSIBLE RAMP TO BE MAX OF 8.33% LONGITUDINAL SLOPE AND 2% CROSS SLOPE. ALL RAMPS TO HAVE HAND RAILS.
2. PROPOSED LANDINGS TO BE 2% MAX SLOPE IN ANY DIRECTION.
3. PROPOSED ADA ACCESSIBLE PATH TO BE MAX. 5% LONGITUDINAL SLOPE AND 2% CROSS SLOPE.

GRADING ENLARGEMENT

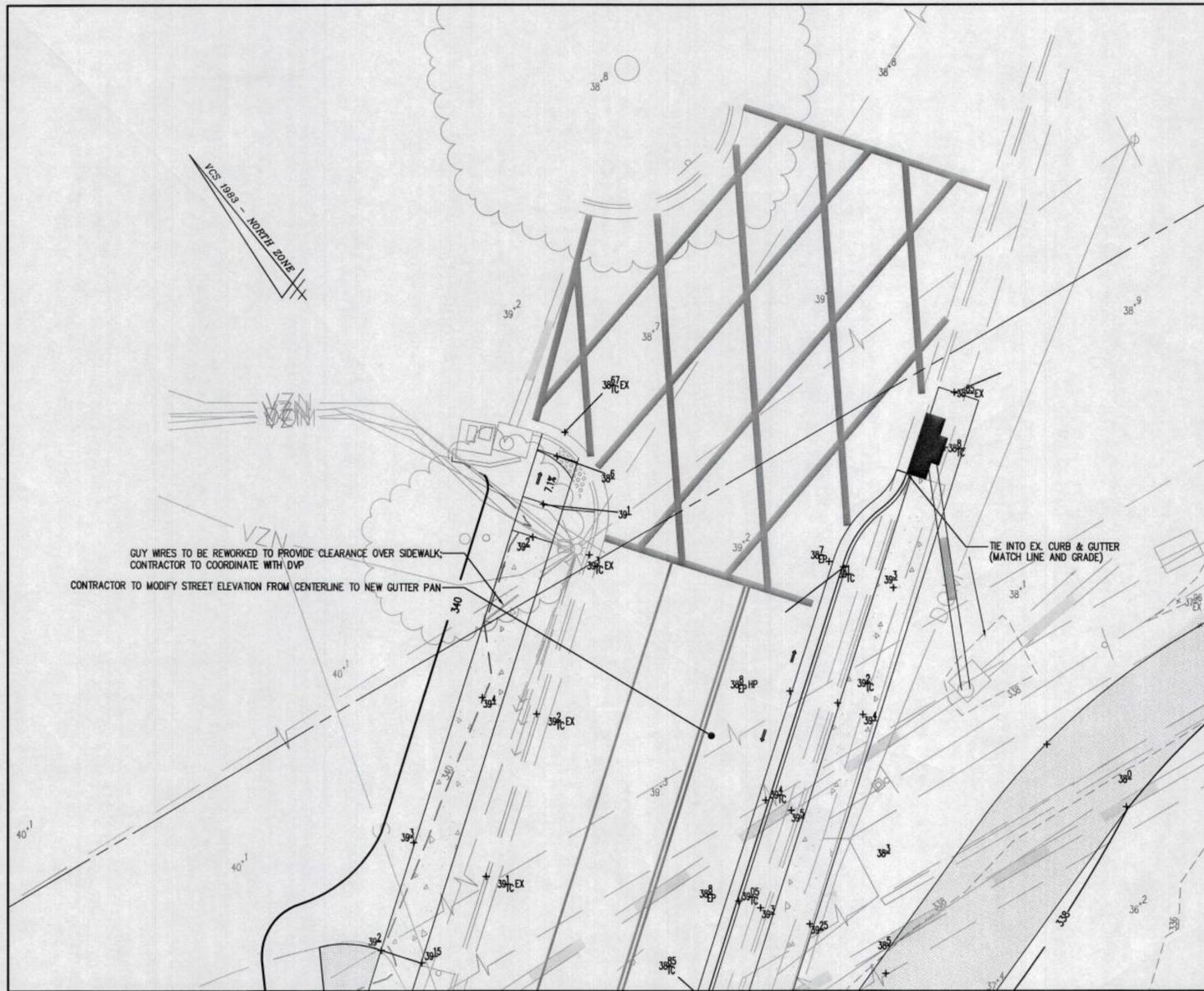
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AT THE INTERSECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA



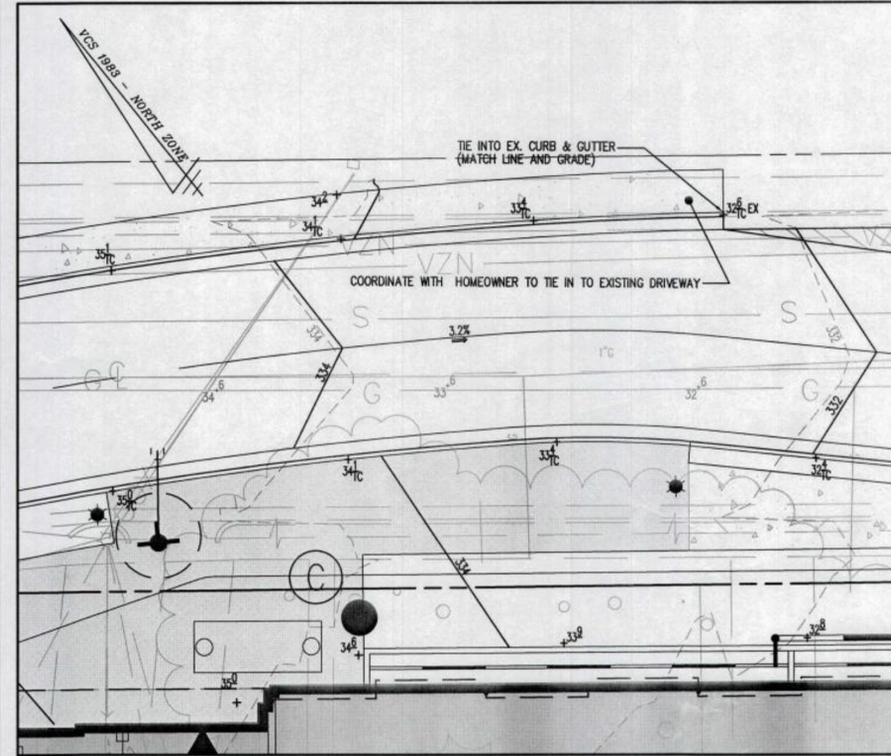
WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1946
DATE: 5/8/2018, 9/22/2018, 5/8/2020, 8/19/2018, 8/16/2018, 8/16/2018, 8/16/2018
SCALE: 1" = 30'

Engineers • Surveyors • Planners
Landscape Architects • Arborists
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.VLPINC.com

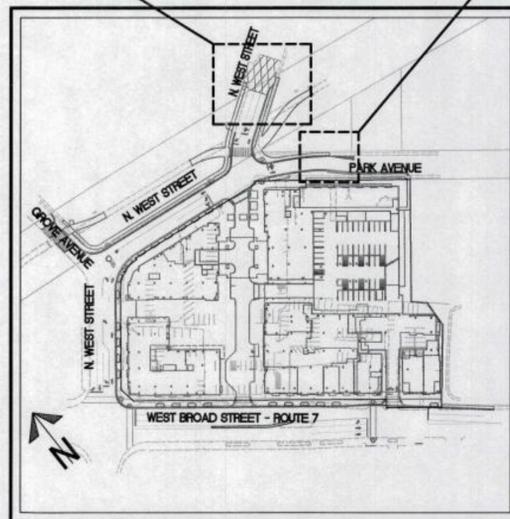
CHECKED: [Signature]
DATE: 8/16/2018
DRAWN: [Signature]
DATE: 8/16/2018



NORTH WEST STREET

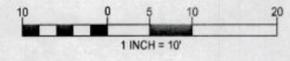


PARK AVENUE



KEY MAP

NOT TO SCALE



* SEE COMMENTS ON SHEETS C-301, 401
 * DEPICT EX. WATER MAINS AND APPURTENANCES CALL OUT SIZE, MATERIAL.
 * SHOW EX. F.H. #40-4-140

NOTES

1. PROPOSED ADA ACCESSIBLE RAMP TO BE MAX OF 8.33% LONGITUDINAL SLOPE AND 2% CROSS SLOPE. ALL RAMP TO HAVE HAND RAILS.
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GRADING ENLARGMENT

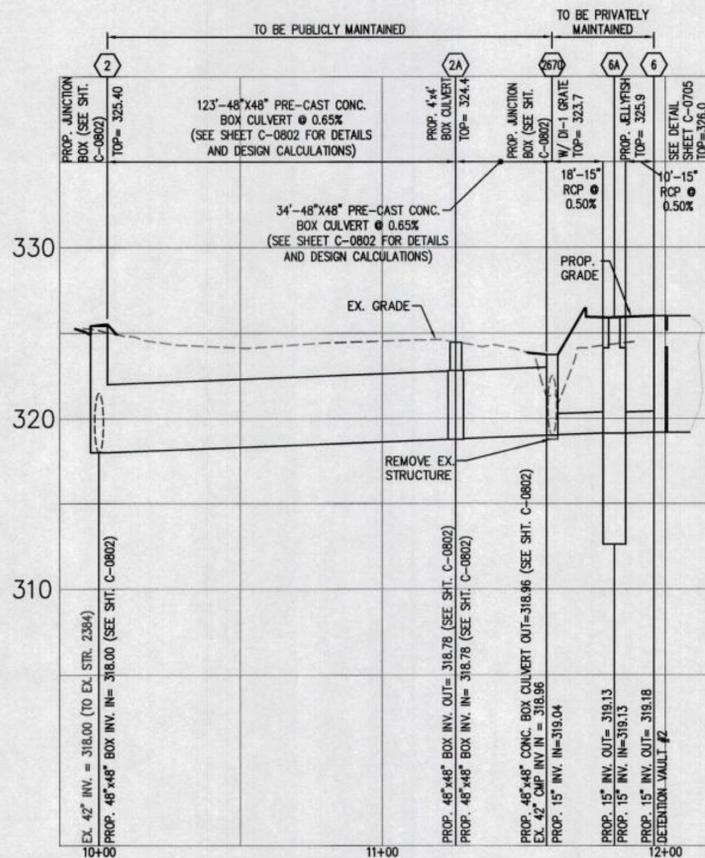
FOUNDERS ROW
 AT THE INTER SECTION OF WEST BROAD STREET,
 NORTH WEST STREET & PARK AVENUE
 CITY OF FALLS CHURCH, VIRGINIA



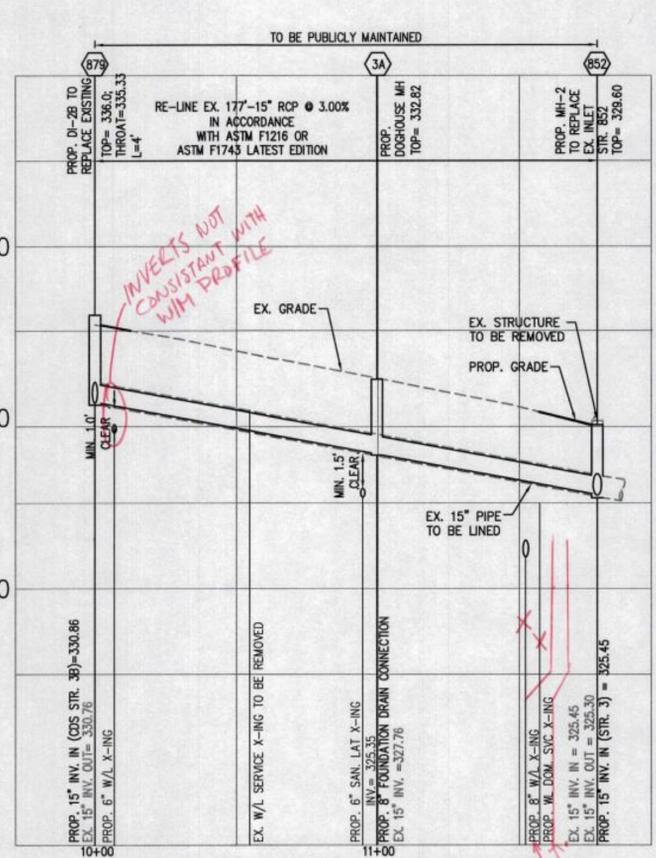
WALTER L. PHILLIPS
 INCORPORATED
 ESTABLISHED 1945
 DATE: SUB01 9/23/2018, GMP SET 8/27/18, SUB03 7/10/2018
 SCALE: 1" = 30'

Engineers • Surveyors • Planners
 Landscape Architects • Arborists
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 FALLS CHURCH, VIRGINIA 22046
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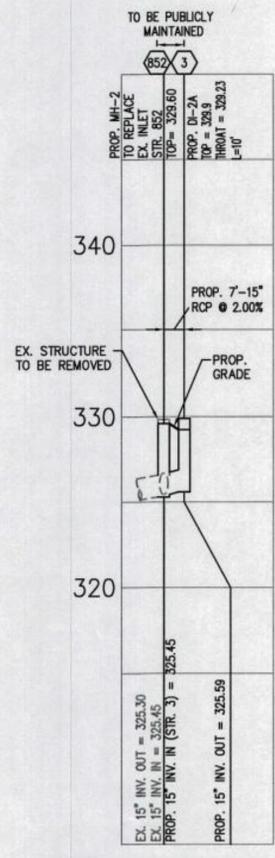
NO.	DESCRIPTION	DATE
	GMP SET	8/27/18



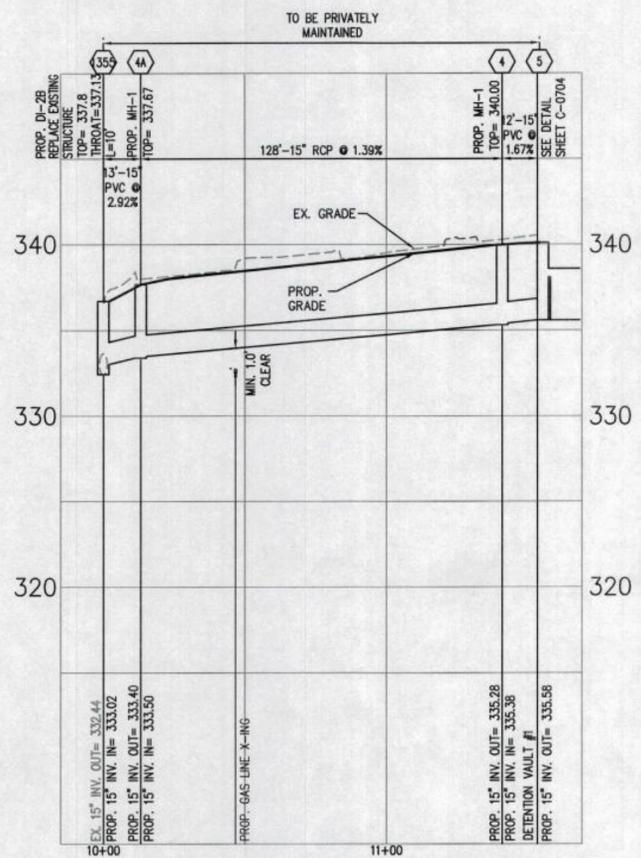
STORM STRUCTURE 2 TO SWM VAULT #2
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM STRUCTURE 879 TO STRUCTURE 852
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM STRUCTURE 852 TO STRUCTURE 3
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM STRUCTURE 1355 TO SWM VAULT #1
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'

STORM SEWER COMPUTATIONS

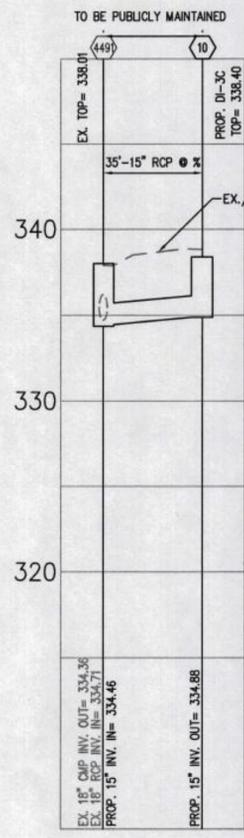
FROM POINT	TO POINT	AREA "A" ACRES	CURVE NUMBER	RUNOFF Q INCREMENT C.F.S.	RUNOFF Q10 C.F.S.	INVERT ELEV'S		LENGTH FT	SLOPE FT/FT	MANNING'S 'N'	DIA. IN	CAPACITY C.F.S.	VEL. F.P.S.	FLOW TIME SEC	NORMAL DEPTH IN
						UPPER END	LOWER END								
5	4	0.71	98	4.12	4.12	335.58	335.38	12	0.0167	0.011	15	9.81	7.69	1.56	6.75
4	4A	0.00	0.00	0.00	0.00	335.28	333.50	128	0.0139	0.013	15	7.58	6.34	20.18	7.85
4A	1355	0.00	0.00	0.00	0.00	333.40	333.02	13	0.0292	0.013	15	11.00	8.36	1.55	6.34
1355	3007	0.34	97	2.23	6.35	332.44	331.87	52	0.0110	0.013	15	6.73	6.28	8.28	11.52
879	852	1.02	98	6.79	6.79	330.76	325.45	177	0.0300	0.013	15	11.14	9.57	18.49	8.42
3	852	0.21	97	1.39	1.39	325.59	325.45	7	0.0200	0.013	15	9.09	5.39	1.30	3.95
852	2266	0.00	0.00	0.00	0.00	325.30	317.99	145	0.0504	0.013	15	14.44	12.20	11.89	8.05
3204	7	0.23	94	1.18	1.18	335.52	335.40	23	0.0052	0.013	12	2.56	3.21	7.16	5.70
8	9	0.87	87	3.93	3.93	335.30	334.98	51	0.0063	0.013	18	8.29	4.65	10.97	8.69

*CONTROLLED BY DETENTION STRUCTURE

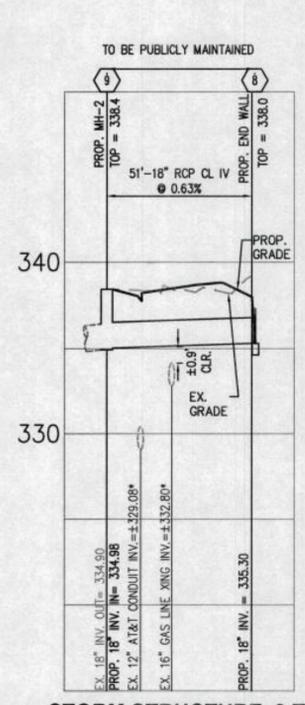
INLET COMPUTATIONS

NUMBER	TYPE	LENGTH (FT)	STATION	DRAINAGE AREA (AC.)	CN	Q INCR. (CFS)	Q _c CARRYOVER (CFS)	Q _t GUTTERFLOW	S _c GUTTER SLOPE (FT/FT)	S _a CROSS SLOPE (FT/FT)	T _c (SPREAD)	W (FT)	WT	SW (FT/FT)	SwSx	E _o (APP. 9C-8)	a = 12WS(SX) + LOCAL DEPRESSION	S' = a/(12W)	S _e = Sx + S' WE _o (FT/FT)	COMPUTED LENGTH, L (FT) (APP. 9C-17)	L SPECIFIED LENGTH (FT)	SAG INLETS ONLY								
																						d (FT)	h (FT)	dh						
1	2	3	4	5	6	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	
879	DI-3B	10	0+00	0.22	98	1.46	0.00	1.46	0.029	0.02	5.23	1.50	0.29	0.08	4.00	0.77	3.13	0.17	0.15	10.10	10	0.99	0.9997647	1.46	0.00	-	-	-	-	-
3	DI-3B	10	0+00	0.21	97	1.39	0.02	1.41	0.030	0.02	5.11	1.50	0.29	0.08	4.00	0.77	3.13	0.17	0.15	10.05	10	0.99	0.9999223	1.41	0.00	-	-	-	-	-
1355	DI-3C	4	0+00	0.34	97	1.77	0.00	1.77	0.021	0.02	4.42	1.50	0.34	0.08	4.00	-	-	-	-	-	4	-	-	-	-	-	-	-	-	
4	DI-3B	6	0+00	0	0	0.46	0.00	0.46	0.020	0.02	2.78	1.50	0.54	0.08	4.00	0.97	3.13	0.17	0.19	4.92	6	1.22	1	0.46	0.00	-	-	-	-	-
3204	DI-3C	4	0+00	0.23	94	1.18	0.00	1.18	0.020	0.02	8.00	1.50	0.19	0.08	4.00	-	-	-	-	-	4	-	-	-	-	-	-	-	-	

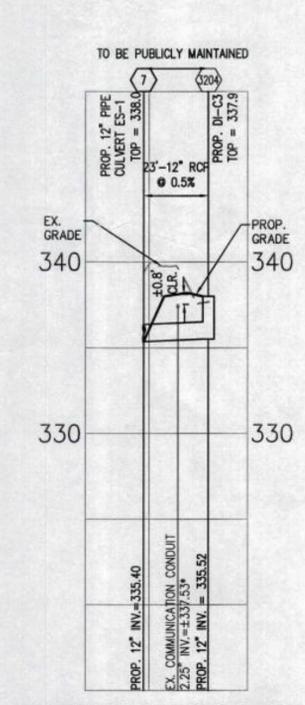
THE ABOVE COMPUTATIONS EVALUATE THE 10-YEAR STORM CONDITIONS.



STORM STRUCTURE 4491 TO STRUCTURE 10
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM STRUCTURE 9 TO STRUCTURE 8 (W&OD TRAIL)
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'



STORM STR. 7 TO STR. 3204
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=5'

NOTE: CONTRACTOR TO PROVIDE STORM WATER PIPE SUBMITTALS TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTION.

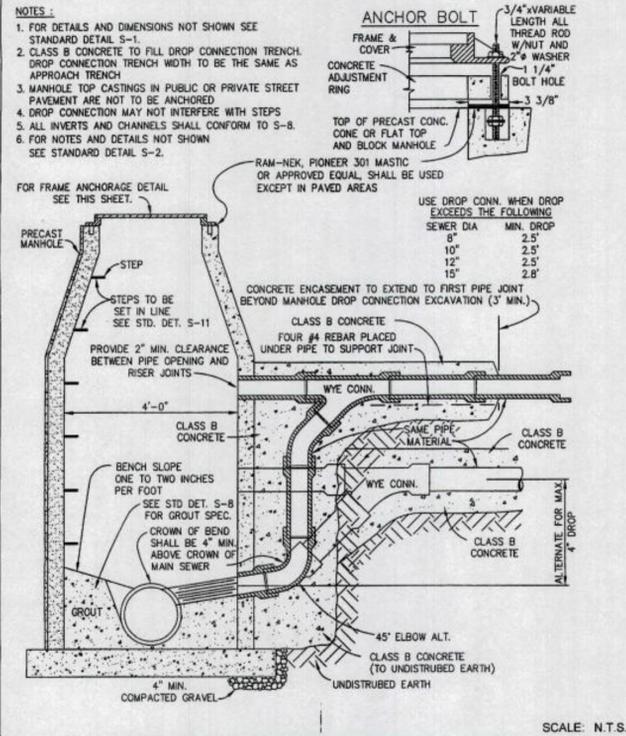
WALTER L. PHILLIPS
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ARBORISTS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 WWW.WLPINC.COM

DATE: 6/22/2016, SUB: 0220018, GMP 02/2018, SUB: 03 7/10/18
 SCALE: HOR. 1"=30' VERT. 1"=5'
 DRAWN: AL, KW, DM, BF, JT
 CHECKED: KW

NO.	DESCRIPTION	DATE
	GMP SET	6/27/18

FOUNDERS ROW
 AT THE INTER SECTION OF WEST BROAD STREET,
 NORTH WEST STREET & PARK AVENUE
 CITY OF FALLS CHURCH, VIRGINIA

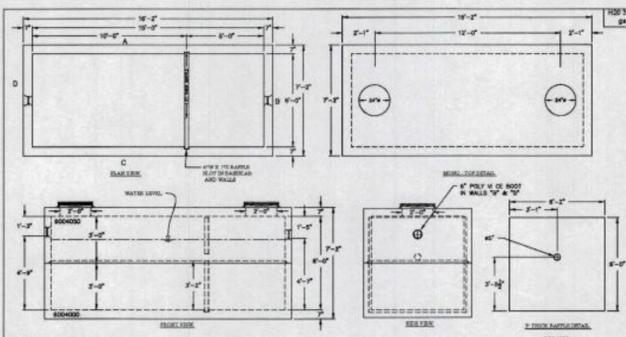
STORM SEWER PROFILES



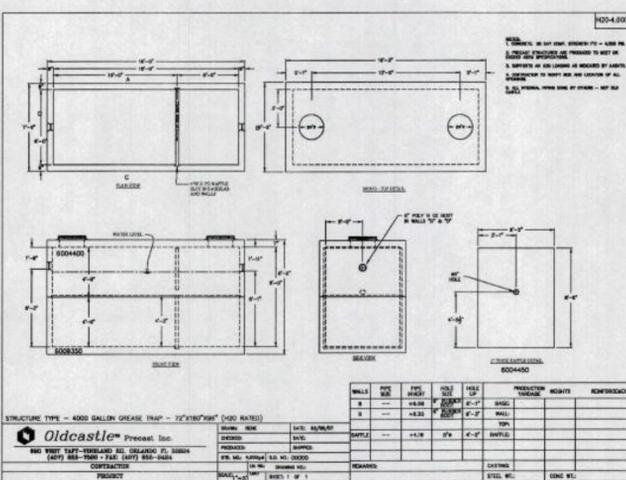
DATE: 6/12/14	DRAWING NO. 5
REVISED: 0	7
REVISED: 6/12/14	
APPROVED: MAI	

STANDARD DETAIL
TYPICAL 4' MANHOLE
OUTSIDE DROP CONNECTION

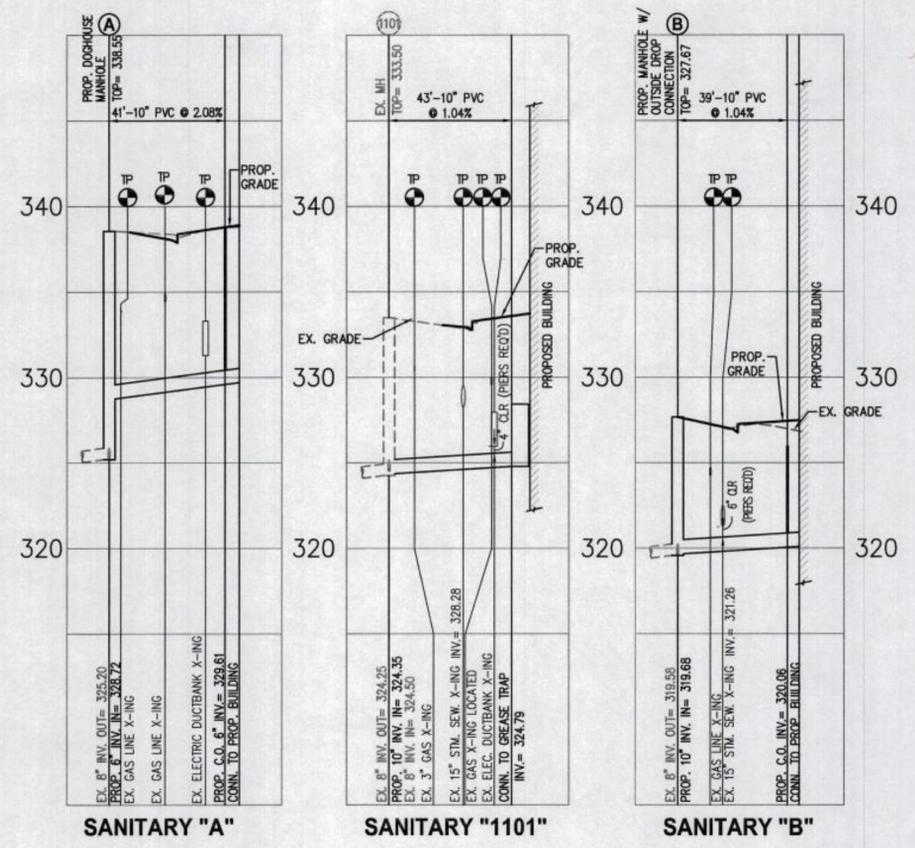
CITY OF FALLS CHURCH VA PUBLIC FACILITIES MANUAL



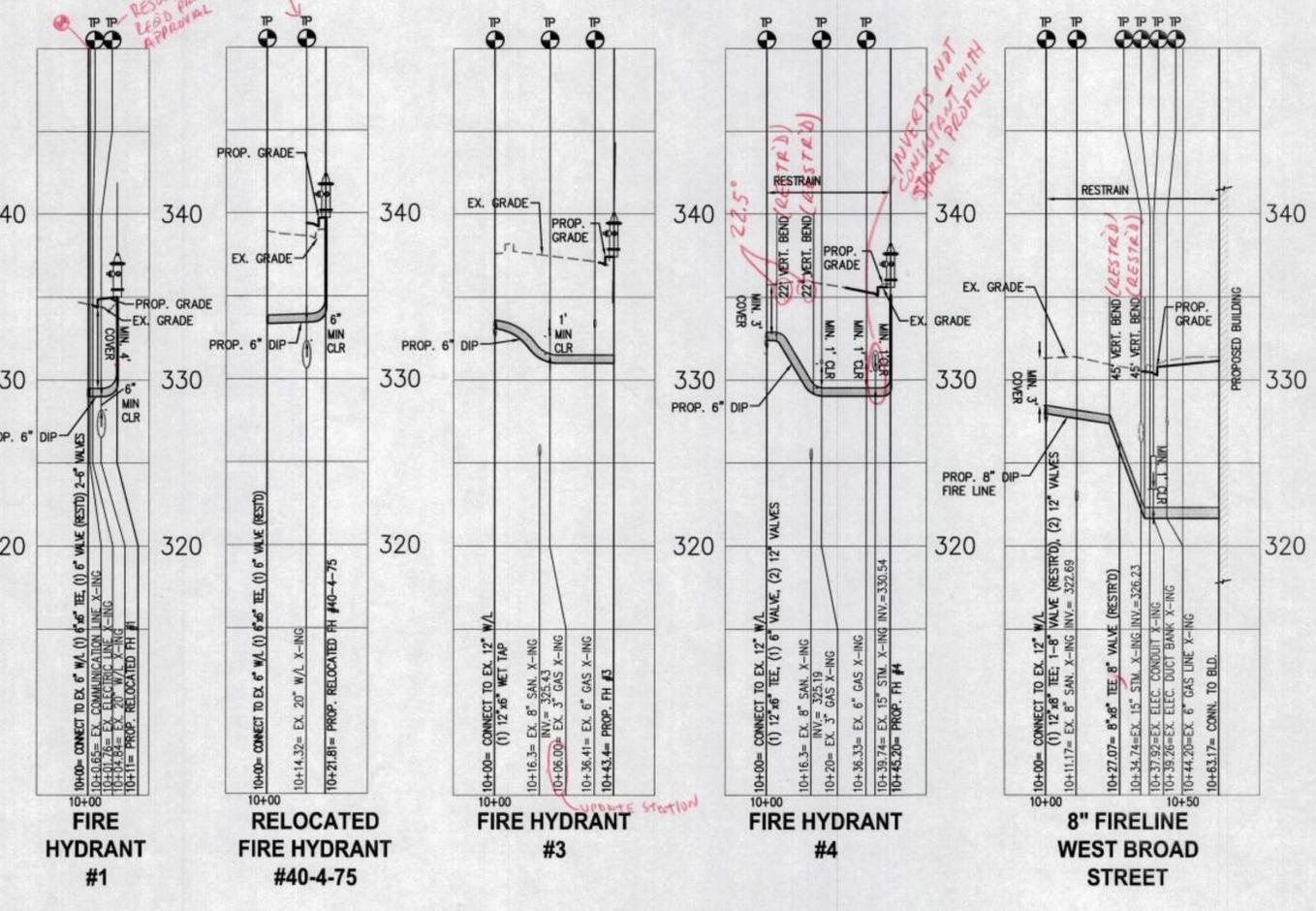
ITEM	QTY	DESCRIPTION	REMARKS
1	1	3000 GALLON GREASE TRAP - 22"X18"X24" (300 RATED)	
2	1	12" VALVE (RESTO)	
3	1	6" VALVE (RESTO)	
4	1	12" VALVE (RESTO)	
5	1	6" VALVE (RESTO)	
6	1	12" VALVE (RESTO)	
7	1	6" VALVE (RESTO)	
8	1	12" VALVE (RESTO)	
9	1	6" VALVE (RESTO)	
10	1	12" VALVE (RESTO)	
11	1	6" VALVE (RESTO)	
12	1	12" VALVE (RESTO)	
13	1	6" VALVE (RESTO)	
14	1	12" VALVE (RESTO)	
15	1	6" VALVE (RESTO)	
16	1	12" VALVE (RESTO)	
17	1	6" VALVE (RESTO)	
18	1	12" VALVE (RESTO)	
19	1	6" VALVE (RESTO)	
20	1	12" VALVE (RESTO)	
21	1	6" VALVE (RESTO)	
22	1	12" VALVE (RESTO)	
23	1	6" VALVE (RESTO)	
24	1	12" VALVE (RESTO)	
25	1	6" VALVE (RESTO)	
26	1	12" VALVE (RESTO)	
27	1	6" VALVE (RESTO)	
28	1	12" VALVE (RESTO)	
29	1	6" VALVE (RESTO)	
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43	1	6" VALVE (RESTO)	
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45	1	6" VALVE (RESTO)	
46	1	12" VALVE (RESTO)	
47	1	6" VALVE (RESTO)	
48	1	12" VALVE (RESTO)	
49	1	6" VALVE (RESTO)	
50	1	12" VALVE (RESTO)	



ITEM	QTY	DESCRIPTION	REMARKS
1	1	4000 GALLON GREASE TRAP - 22"X18"X24" (300 RATED)	
2	1	12" VALVE (RESTO)	
3	1	6" VALVE (RESTO)	
4	1	12" VALVE (RESTO)	
5	1	6" VALVE (RESTO)	
6	1	12" VALVE (RESTO)	
7	1	6" VALVE (RESTO)	
8	1	12" VALVE (RESTO)	
9	1	6" VALVE (RESTO)	
10	1	12" VALVE (RESTO)	
11	1	6" VALVE (RESTO)	
12	1	12" VALVE (RESTO)	
13	1	6" VALVE (RESTO)	
14	1	12" VALVE (RESTO)	
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16	1	12" VALVE (RESTO)	
17	1	6" VALVE (RESTO)	
18	1	12" VALVE (RESTO)	
19	1	6" VALVE (RESTO)	
20	1	12" VALVE (RESTO)	
21	1	6" VALVE (RESTO)	
22	1	12" VALVE (RESTO)	
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30	1	12" VALVE (RESTO)	
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45	1	6" VALVE (RESTO)	
46	1	12" VALVE (RESTO)	
47	1	6" VALVE (RESTO)	
48	1	12" VALVE (RESTO)	
49	1	6" VALVE (RESTO)	
50	1	12" VALVE (RESTO)	



FINAL GREASE TRAP DETAIL TO BE CHOSEN PRIOR TO CONSTRUCTION. CONTRACTOR TO CONFIRM WITH DEVELOPER PRIOR TO PURCHASE.



NOTE:
TEST PITS TO BE PERFORMED 90 DAYS PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS.

WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1946
7/10/18
KAREN L. S. WHITE
Lic. No. 041850
PROFESSIONAL ENGINEER

Engineers • Surveyors • Planners
Landscape Architects • Arborists
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.wlpinc.com

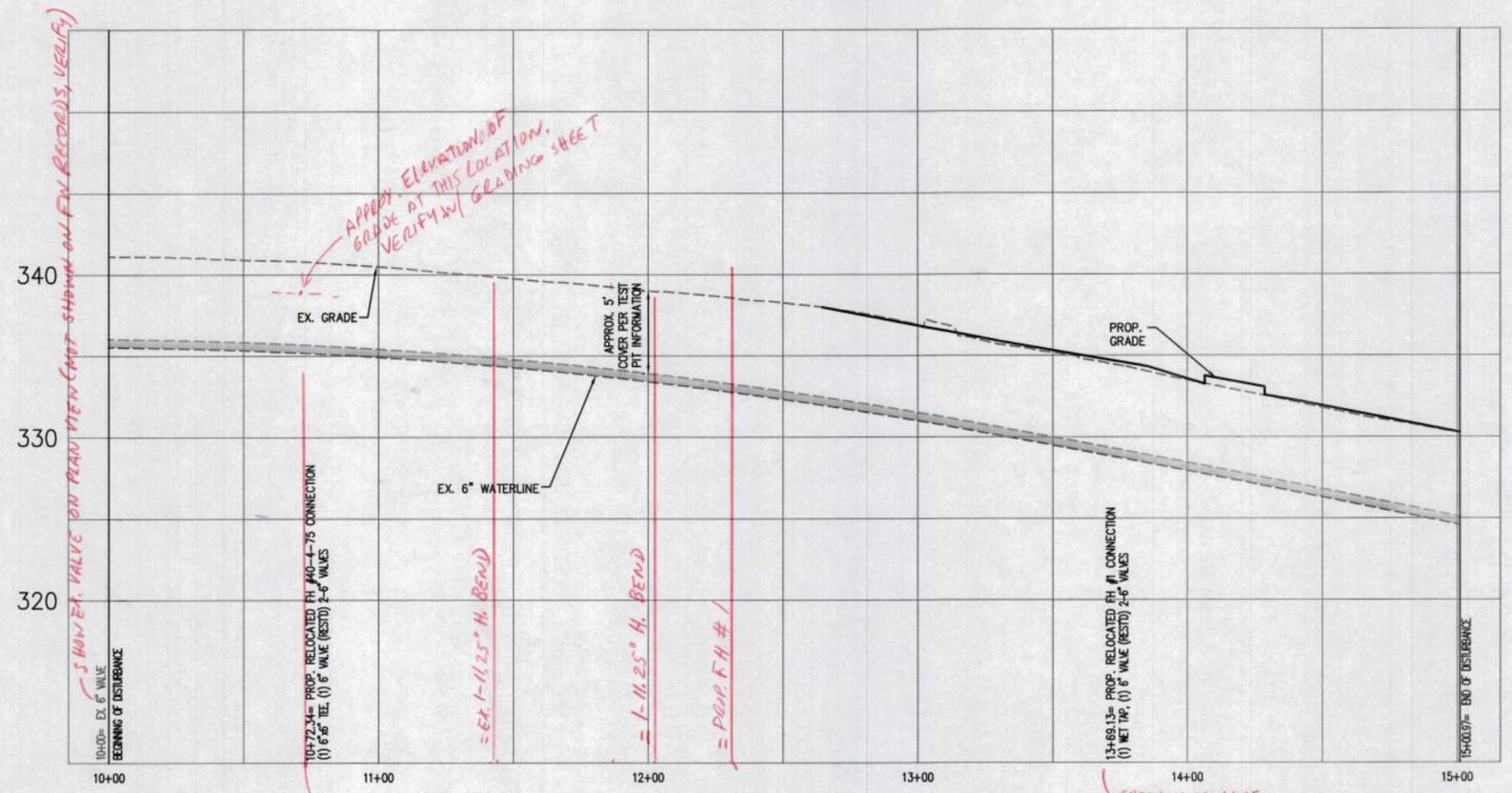
DATE: 8/23/2016 SUB: 02202016 GMP 0212018 SUR: 031702018
SCALE: HOR. 1"=30' VERT. 1"=5'
DRAWN: AL, KY, DM, BP, JT
CHECKED: KW

NO.	DESCRIPTION	DATE
	GMP SET	8/21/18

UTILITY PROFILES

FOUNDERS ROW
AT THE INTER SECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA

SHEET: C-0901

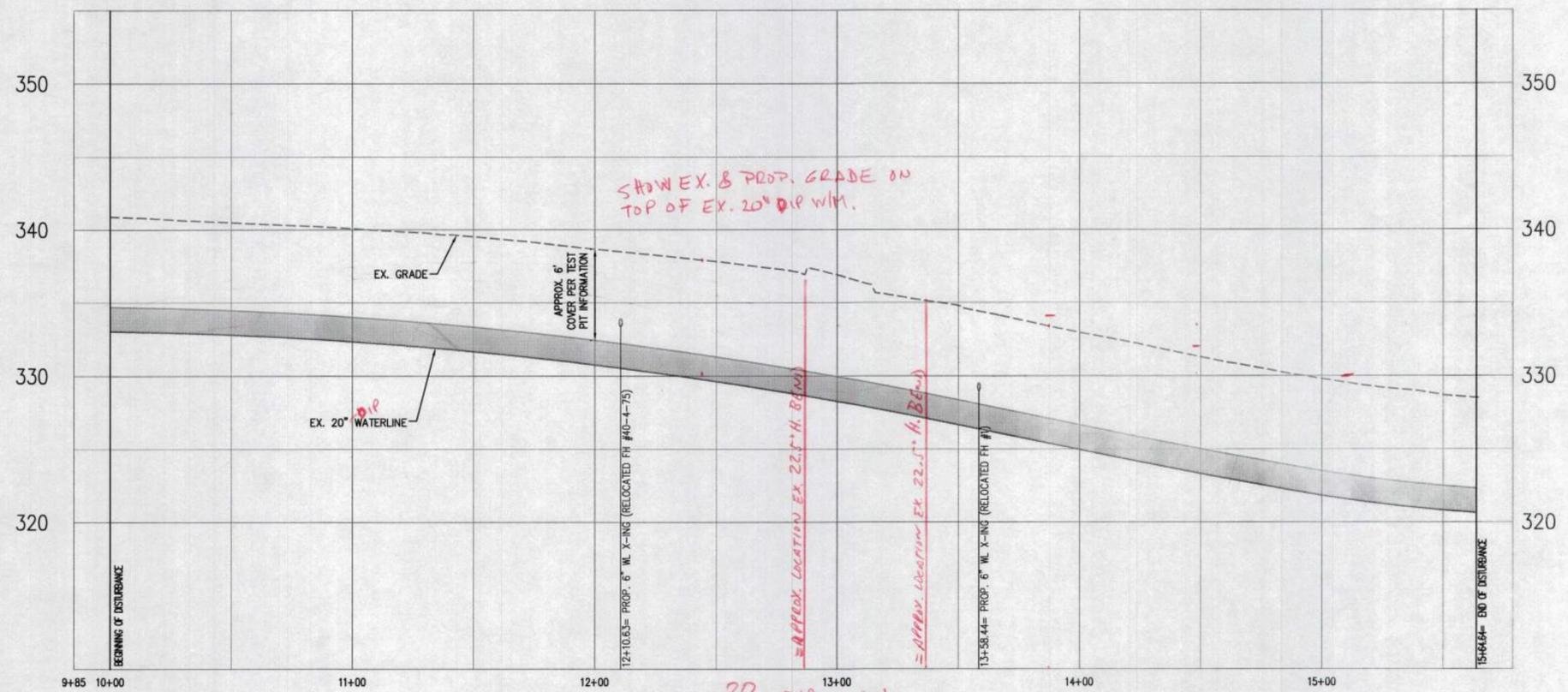


APPROX. ELEVATIONS OF GRADE AT THIS LOCATION. VERIFY W/ GRADING SHEET

UPDATE PROFILE

EX. 6" WATERLINE PARK AVE
SCALE: HOR. 1" = 30
VERT. 1" = 5'

SHOW XING. LINE. STATIONS AND LOCATION OF HYDRANTS DO NOT MATCH PLAN VIEW SHEET. DISTANCE FROM FH 40-4-75 TO PROP. F.H. #1 IS $\approx 15'$ ALONG EX. 6" WATER MAIN. * SHOW EX. FITTINGS. * SEE COMMENTS ON SHEETS 301, 401,



SHOW EX. & PROP. GRADE ON TOP OF EX. 20" DIP WITH.

EX. 20" DIP MAIN WATERLINE PARK AVE
SCALE: HOR. 1" = 30
VERT. 1" = 5'

NOTE: PROFILES ARE PROVIDED AS REQUESTED FOR MINOR STREET RE-GRADING. EXISTING WATER LINES ARE TO REMAIN.

UTILITY PROFILES

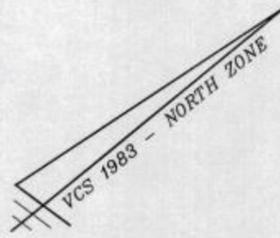
FOUNDERS ROW
AT THE INTER SECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA



WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1946
DATE: SUBMIT 9/23/2018, SUBMIT 2/20/2018, SUBMIT 7/10/2018
SCALE: HOR. 1" = 30', VERT. 1" = 5'

Engineers • Surveyors • Planners
Landscape Architects • Arborists
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPINC.com

MATCHLINE SHEET 2



WEST BROAD STREET - ROUTE 7

VARIABLE WIDTH PUBLIC RIGHT-OF-WAY

1,415 SQ.FT. HEREBY DEDICATED FOR PUBLIC STREET PURPOSES

N51°23'30"W 446.79'

354.26' TOTAL

EX. STREETScape, UTILITIES & DRAINAGE ESMT
DB 2420 PG 847
DB 2475 PG 1078
HEREBY VACATED

51-202-005

51-202-028

51-202-012

PUBLIC SIDEWALK AND UTILITIES ESMT
HEREBY GRANTED

51-202-013

25.00'
S51°38'12"E 274.19'

(50' WIDE PUBLIC RIGHT-OF-WAY)
PARK AVENUE

*SEE COMMENTS
ON SITE PLAN SET
SHEET C401*

51-202-004

PARCEL A

186,697 SQ.FT. OR 4.2860 ACRES

51-202-014

EX. STORM SEWER ESMT
DB 1836 PG 532
HEREBY VACATED

51-202-015

STORM SEWER ESMT
HEREBY GRANTED

N39°09'37"E 14.80'

N51°42'23"W 97.30'

N51°23'30"W 97.47'

N47°47'52"W 24.05'

PUBLIC SIDEWALK AND UTILITIES ESMT
HEREBY GRANTED

51-202-003

S38°14'37"W 150.17'

15'

S38°14'37"W 214.11'

LOT 2
D.J. BROWN'S PROPERTY
N/F MOST REVEREND
M.F. BURBIDGE

41.00'

N51°42'23"W 97.30'

N51°23'30"W 97.47'

N48°41'21"W 76.01'

PUBLIC SIDEWALK AND UTILITIES ESMT
HEREBY GRANTED

N/F MOST REVEREND
M.F. BURBIDGE

IPF
S47°30'23"E 28.01'
IPF
S05°19'37"W 47.55'

N 7,009,823.075
E 11,857,841.795

S39°50'37"W 144.17'

N 7,009,922.810
E 11,857,925.020

PLAT SHOWING

PARCEL A
FOUNDERS ROW

BEING THE CONSOLIDATION OF THE PROPERTIES OF
MASON ROW APARTMENTS LLC
CITY OF FALLS CHURCH, VIRGINIA

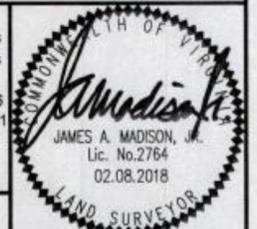
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

WALTER L. PHILLIPS
INCORPORATED ESTABLISHED 1945

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REVISED: 07.09.2018

SCALE: 1" = 30'

DATE: FEBRUARY 8, 2018

SHEET: 3 OF: 3

**Architectural Advisory Board
July 11, 2018**

Meeting Minutes

The meeting was called to order at 7:43 p.m.

1. Roll Call: Mrs. Duggan, Mrs. Friedlander, Mr. Way, Mr. Wong were present. Mr. Anderson was absent.
2. Petitions: There were no petitions
3. Consent Calendar: There were no consent calendar items
4. Other Business: There was no other business
5. Old Business: There was no old business
6. New Business:
 - a. AAB #20131165 Site Plan by Mill Creek Residential & Spectrum Development for Founders Row, for a mixed-use project by Mill Creek Residential and Spectrum Development LLC for properties known as 916, 920, 922, 924, 926, 928, 930, 932 & 934 West Broad Street and 919, 921 & 925 Park Avenue (Real Property Code #s 51-202-009 through 51-202-015, 51-202-003, 51-202-004, 51-202005, 51-202- 028 and 51-202-028 Outlot) zoned B-1 Limited Business

With no comments from city staff, the applicant provided an overview of the current status of the overall project and changes that had been incorporated since the last presentation.

The Board posed questions about distinct aspects of the project and discussed merits and concerns with the current iteration. Based on the presentation and discussion, the Board has the following recommendations:

I. GENERAL:

This Board appreciates the opportunity to review the development of the design of a project of this scale and location as a Gateway to the City. It is of the utmost importance that this project is compatible with the City's Visioning Plan in order to create a Unique Place with articulated massing and high quality of construction. Due to the size and stature of this project, Founders Row will set precedent by default for future developments (much the same way that the Harris Teeter project is referenced), therefore the bar needs to be high in terms of quality of construction/materials and the planning that goes into it. It is important to note that if the project is well executed on these fronts, it will draw people into experience it and enjoy all it has to offer.

II. SITE PLAN REVIEW & DISCUSSION TOPICS:

The applicant showed a slide that was not included in the package submitted to AAB members which was an aerial photo of the surrounding properties with a plan of the project superimposed on the aerial photo.

This is the type of site plan is required for a project of this size and has been requested by the AAB on multiple occasions 1/4/17 (item 010417 6a.10) and again on 6/6/18. This aerial site plan needs to be included in all future package submissions to allow for proper prior review.

1. Shadow Study:

The shadow study included in the presentation does not indicate true north, but appears to be per 'plan north'. This shadow study needs to be revised to indicate the shadow impact at surrounding properties (from true North) as well in addition to taking into account the topography of the immediate site and surrounding areas (as there is a 10' change in elevation across the Broad Street elevation) (see previous meeting minutes 010417 item 6a.11).

AAB Recommendation: Use the aerial photo/site plan as the base for the shadow studies. In addition the shadow study should, at a minimum, study the shadows of the morning, noon/early afternoon & 4pm for both the Winter & Summer Solstices to study the impact of this development on the surrounding public ways and adjacent properties. Confirm that shadows projected are based on 'True North' not 'Plan North'

2. Roofscape:

AAB noted that the expansive roofscape will introduce a 'heat island' effect in the summer and presents an opportunity for a green roof or another BMP for green building to mitigate the heat island present with expansive amounts of roofing.

AAB recommendation: Applicant to define plans to mitigate introducing a 'heat island' to this area of the City.

3. Sidewalks:

The applicant stated a 20' depth sidewalk at restaurant frontage where outdoor seating is going to be allowed.

AAB Recommendation: Define the depth of seating area along sidewalk to be limited by the Landlord so-as not to inhibit pedestrian circulation, even with the impromptu gathering that may occur at the outdoor seating areas.

4. Crosswalks:

Concern at crosswalk to Grove Street across West was expressed and although City Staff confirmed there were no comments from the City, members of City Council stated that crosswalk location was going to be removed from the project.

Several Board members expressed concern at total removal of a safe crossing at this location, due to the lack of motorist sightlines of that portion of road and witness a number of children daily trying to cross at this location to get from West End Park to the businesses that are currently at that intersection.

The current site plan also shows a pedestrian promenade near the Grove/West intersection, which implies a strong pedestrian link at this intersection, therefore the pedestrian crossing activity will likely increase at this intersection.

AAB recommendation: Keep a crosswalk at the intersection of Grove & West, but relocate it to connect to the west sidewalk of Grove and closer to the bank driveway, so there is a more natural visual connection to the pedestrian promenade and a safer, more visible location for pedestrians to cross West Street.

5. Trees:

The AAB expressed concern of the type and location of trees over the 10" Sanitary Line at Park Avenue and stated if it is determined in the design process that these trees cannot be planted or will survive directly over the Sanitary Line, that the elevations & perspectives at the 'townhouses' along Park Avenue be re-evaluated by the Board without the trees obscuring the elevations & perspectives.

Due to the U/G Utilities along the SE property line, the amount of trees has been reduced dramatically, leaving large expanses of exposed blank walls.

AAB recommendation: Study the use of a living 'green screen' at the SE elevation to aid in breaking down the expansive flat elevation of concrete masonry. Consider incorporating area at garage screen into this area. See also AAB #20131165 Item 01/04/17 6a.13.

6. Site Lighting:

Mill Creek stated that the site lighting around perimeter of development will be by The City of Falls Church. There will be no building accent lighting around the perimeter of the development.

Mill Creek also stated that 'Market Square' will be lit from the surrounding buildings. The fountain also has accent/feature lighting. See also AAB #20131165, Item 01/04/17 6a.15.

7. Market Plaza Plan:

The improvements to the documentation of the Market Plaza are noted and if quality materials and construction are used in this space, it appears from this set of documents that it will be an active and unique space.

III. ELEVATIONS & PERSPECTIVES REVIEW & DISCUSSION TOPICS:

1. Massing & Elevations:

It should be noted that the massing of most of the project requires further development, as the perspectives still show shoe-box massing at all locations except the 'triangular building' that faces Grove. The break-down of massing at the triangular building at Grove and the entry into Founders Row from West are much more successful than the other remaining elevations at the Townhouses, Residences and age-restricted buildings.

It is noted that this is a gateway project with each side having prominence to the direction it faces, therefore each elevation must be developed as a 'front' or 'iconic' elevation.

AAB Recommendation: Further develop massing of elevations at the Residences, age-restricted building, and Townhouses to break up the flatness of these elevations. In addition, all elevations require further articulation of the cornice line to aid in breaking up massing and mitigate overall flatness the elevations of the project.

2. SE Corner/Elevation:

While it is understood that code restricts square footage of windows along the property line, this elevation is prominent from the eastern approach to the project and requires further development to announce itself at the corner and at the cornice line.

AAB Recommendation: Additional and substantial revision to the SE corner to give prominent/'iconic' stature [without additional branding]. This corner will be a very visible component of the architecture for the foreseeable future and in its current state is not an acceptable design. This project is a major development and therefore a critical identity piece for the City of Falls Church. As currently proposed, this corner in no way addresses or identifies any relation to the City. The Board recommends that the applicant redesign this particular portion of the project.

3. East Elevation:

It is noted on the documents that vinyl siding is currently scheduled for the east facing residential tower courtyard. This courtyard is highly visible along the approach from downtown FCC along Broad Street.

AAB Recommendation: Reconsider use of vinyl siding at this location with an alternate material that better complements the materials of this project.

4. NE Elevation at Townhomes:

Although the townhomes were described as individual, they read in both elevation and perspective as a single box unit with multiple faces in alignment. These units need to appear

more individual from each other and could be achieved through massing studies and further breaking down of the single volume. As currently proposed, the cornice line is a simple straight line that gives the building a substantial, box-like visual perception.

AAB Recommendation: Include vertical dimensionality or depth into the cornice line to break the strong straight/flat line and break up the massing/flatness of the façade so that all units do not appear as one large one with different colors on it. The introduction of height differences or different molding of the cornice along these two sections of the building would help to reduce the massing in these areas. (While the Board would prefer increased depth articulation as well, the Board understands the limitations based on internal structures and design and requests that the applicant review options to improve the massing from a flat box-like structure to become more articulated.) See also AAB #20131165, Item 01/04/17 6a.14.

5. Elevations at 55+ Building:

These elevations in previous submissions appeared to have more breakdown of the massing and the SW Corner that addresses Broad/West intersection. In this submission, the cornice line has been flattened to a single plane and simple straight line, giving the appearance of a box with some balconies.

AAB Recommendation: Include vertical dimensionality into the cornice line of the buildings. The introduction of height differences or different molding of the cornice along these two sections of the building would help to reduce the massing in these areas. (While the Board would prefer increased depth articulation as well, the Board understands the limitations based on internal structures and design and requests that the applicant review options to improve the massing from a flat box-like structure to become more articulated.)

6. Elevation at Residence Building along Broad Street:

The elevations and perspectives of the residence building along Broad Street appears flat and is accentuated by the strong single line of the cornice and forces the perspective of a large box-like mass.

AAB Recommendation: Include vertical dimensionality or depth into the cornice line to break the strong straight/flat line and break up the massing/flatness of the façade so that all units do not appear as one large one with different colors on it. The introduction of height differences or different molding of the cornice along these two sections of the building would help to reduce the massing in these areas. (While the Board would prefer increased depth articulation as well, the Board understands the limitations based on internal structures and design and requests that the applicant review options to improve the massing from a flat box-like structure to become more articulated.) See also AAB #20131165, Items 01/04/17 6a.6 and 6a.14.

7. Elevations inside Market Plaza:

The elevations at the 'bridge' have been further developed and the breaking apart of the façade massing is successful here. The cornice line along the interior East façade is a simple flat surface/plane.

AAB Recommendations:

- a. Provide stepping or projections at long runs of cornice to break up the long shallow caps of the buildings (east façade at the plaza). See also AAB #20131165, Item 01/04/17 6a.6.
- b. Provide perspective drawings of the view to the southwest from inside the main marketplace area. There is currently no clear visualization of this section of the age-restricted housing component of the project and this will be a very visible aspect of the development.

8. Elevations/Perspectives at 'triangular' building facing Grove:

The elevations at this corner that addresses Grove Street provide a more successful strategy to 'break apart' the massing at this location.

9. Storefront & Signage:

The applicant stated that the storefront and signage package is currently under design and will be submitted for review. The elevations A-A & F-F currently show these storefronts as more varied than in previous submissions.

AAB Recommendation: Provide detailed drawings of the storefront and sign placement design standards. [A note that echoes previously published comments from 10/7/15 AAB Board review stating that a comprehensive design must be a unifying feature among the storefront details of the project (or in rhythm of how buildings are broken down within the project) and a concept for defining the area for tenant branding should be identified; this should not be a 'free-for-all' individualistic approach.] AAB #20131165, Item 01/04/17 6a.8.

The intent of this item was for the landlord/developer to set guidelines for the tenants to maintain some unity of proportions in the façade.

10. Misc. Features discussed:

- A. **Screened area at garage/loading dock:** The applicant confirmed that the dimension from the head of this opening to the underside of slab above the loading dock was in excess of 10' to mitigate views of the utilities that are suspended from the slab above.
- B. **Vents:** The applicant confirmed that the vents to be used for the residential units and other locations where vents in the face of the elevation may be required are to be flush with the face of the elevation and integrated into the architectural elements of the façade.
- C. **Juliet Balconies:** The Juliet balconies shown on the elevations within the market plaza appear to be too fragile in the elevations and look like paper clips or baby gates. The applicant stated they will submit the proposed product.

CLOSING NOTES:

The Board has become increasingly frustrated with the lack of incorporation or addressing of the Board's prior comments. This project has been presented numerous times over the past two years and numerous recommendations and requests by this Board have gone largely unmet. To make the most of everyone's time, the applicant should assure they have addressed feedback in some fashion. (This does not mean every recommendation should be incorporated, but at least that reasons are given for why certain changes have not been included.) Many of this Board's requests are simply for additional plans and visuals to best understand the architecture, context, and impact of the project and do not require or request design changes and should be relatively easy to provide.

Note: The applicant made comment that they were unaware of AAB comments to date, however, this applicant has submitted plans for review under multiple names: Founders Row (aka Masons Row) and come before the AAB on several occasions (including but not limited to):

- August 2014
- February 2015
- May 2015
- October 2015
- January 4, 2017
- June 6, 2018

All of these meetings have been memorialized with minutes and review comments. Meeting minutes from these meetings should be cross referenced in the City archives and available for anyone to download.

MOTION:

Mr. Wong made a motion to recommend city council accept the special exemption to change the segment of the project originally planned for a hotel to age-restricted housing. Mrs. Friedlander seconded and the motion was passed unanimously.

7. Minutes:

- a. Minutes from the June 6, 2018 AAB meeting: Mr. Wong made a motion to accept the minutes as submitted. Ms. Duggan seconded and the motion was passed unanimously.

8. Adjournment: The meeting was adjourned at 10:20 p.m.

9.



Tree Commission Meeting Minutes

Wednesday, July 18, 2018 ❖ 7:30 - 9:30 pm

George Mason High School Library

Present: Dennis Szymanski, Kathy Philpott Costa, John Tesner, Karen Jones, Kate Reich, Tim Stevens, Zach Holmes (new youth representative)

1. **Approval of June 20 Minutes:** The minutes from the June 20, 2018 meeting were approved.
2. **Public Comments:** None
3. **Staff Updates/ Informational Items**
 - **Status of greenspace expectations on the George Mason campus project and West Falls Church Development:** Tim Stevens, a member of the “Down Select Committee” for the RFDP, reported that the Committee selected contractor Gilbane Construction and architect Stantec for the school project. The project’s landscape architect will be Jonathan Fitch. The design, landscaping, and other aspects of the project are still open for discussion. There will be a public information meeting on August 5. The contractor believes that the project can be completed by end of 2020, but the construction cannot begin until a contract is also signed for the commercial portion of the property.
4. **Current Business**
 - **Greenspace voluntary concession for Founders Row:** The TC will send a memo to the City Council requesting a Voluntary Concession contribution of \$30,000 to compensate in part for the loss of tree canopy. The memo also comments on the overall disregard for green space and tree canopy in this project. In addition, the arborist provided comments that the project’s open space, which lacks trees and vegetation, is contrary to the principles of Falls Church; the developer’s response stated that the main purpose of the space was community use as a flexible and open gathering space. Parks and Rec has pointed out the lack of space for pets, as the TC did in the early stages of the special exception application process.
 - **Future of Special Exception proposal: 15% green space requirement / Canopy Fund payment, requirement to preserve mature trees:** There is now a starting point “template” (based on the Insight model) for requesting a developer voluntary

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concession in the form of a financial contribution to green space. However, the TC feels strongly that the City should initially require adequate green space and tree canopy on special exception projects rather than defaulting later to a voluntary concession contribution in lieu of trees and green space. The TC discussed how to most effectively promote this approach while the Chapter 5 of the Comp Plan is still in flux and undeveloped on this question.

- **Update of Environmental Chapter of City Comprehensive Plan:** A public meeting on Chapter 5 is set for August 18. Kathy will draft a list of TC goals and concerns for distribution at the meeting.
 - **Establish Urban Forestry goals:** TC will review latest draft and comment further.
 - **Urban Forestry definition and vision (subject to ongoing input):** TC will review the latest draft and comment further.
- **Proposed new Specimen Trees:** The TC voted to nominate the following four specimen trees: a hickory at 517 Timber, a Kwanzan cherry at 105 W. George Mason, a redbud at 617 Poplar, and an American beech at 209 Noland. Kate will proceed with the communication to the owners.

5. Plan Reviews

- **Founders Row site plan submission #3:** The TC reviewed the third Site Plan. Kate will request multi-tree planters along Broad Street, movement of Park Street trees to the street edge for more growing room, and clarification of planters (pots or pits?) for trees along Founders Lane. The TC will submit a memo requesting a voluntary concession (see item 4 above).

6. Future Business

- **Standard private maintenance agreements for streetscapes**
- **Code updates/modifications relating to urban forestry**
- **Tree canopy goals and strategies**
- **Urban Forest Management Plan**
- **Enforcement of site plan tree violations**

Staff liaison: Kate Reich, 703-248-5183, kreich@fallschurchva.gov

The meeting was adjourned at 9:10.

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