

PUBLIC WORKS NOTES:

- All requirements relative to City Code and Public Works Design and Construction Standards shall be submitted and approved before release of site plans.
- All required bonds, escrows, insurances, cash, etc., shall be submitted and approved before release of site plans.
- Plan and profile shall be submitted (inked on mylar size 24" x 36") for all storm sewers and street projects in public right-of-ways or public easements and approved before release of site plans.
- Contractor is responsible to notify all utility companies before construction begins.
- All datum shall be based on USC and GS datum.
- Bonds shall not be released until the receipt and approval by the City of as-built site plan, plans and profiles, etc.
- All underground utilities and transformers shall be shown on site plan and confirmed per location on as-built plan.
- The owner shall notify the Director of Public Works in Writing three days prior to the beginning of all street or storm sewer work shown on the site plan.
- The installation of improvements as required in this article shall in no case serve to bind the city to accept such improvements for the maintenance, repair of operation thereof, but such acceptance, shall be subject to the existing regulations concerning the acceptance of each type of improvement.
- No lane closures are permitted on West Broad Street before 9:30 AM and after 3:00 PM. Only one lane may be closed at a time. VDOT requirements for traffic control will govern.
- Normal construction hours are 7:00 AM to 9:00 PM Monday, through Friday and 9:00 AM to 9:00 PM on weekends and holidays.
- Permits are required for construction work located within the established City right-of-way.

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FIRE MARSHAL NOTES:

All requirements relative to City Fire Code and Virginia Building Code must be compiled with.

USE GROUP CLASSIFICATION:	TYPE OF CONSTRUCTION:
UNDERGROUND LEVELS: S2	PARKING LEVELS (ALL): TYPE IA
GROUND LEVEL: R-2, M, A-1, A-2, S-2	GROUND LEVEL & MOVIE THEATER: TYPE IA
LEVEL 1A: R-2, B, S-2	RESIDENTIAL LEVELS BELOW PODIUM: TYPE IA
LEVEL 2: R-2, A-1, A-3	RESIDENTIAL LEVELS ABOVE PODIUM: TYPE IIIA
LEVEL 3 & HIGHER: R-2	FLOW AT FIRE HYDRANT: 2700 GPM

PUBLIC UTILITIES NOTES:

FAIRFAX WATER WATER MAIN CONSTRUCTION NOTES

- ALL WATER MAIN CONSTRUCTION, TESTING AND SAMPLING SHALL COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS OF FAIRFAX WATER'S CONSTRUCTION PRACTICE MANUAL AND THE REQUIREMENTS OF THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL. ALL WATER MAIN, FITTINGS AND APPURTENANCES SHALL COMPLY WITH FAIRFAX WATER'S "APPROVED PRODUCTS LIST". THE CONSTRUCTION PRACTICE MANUAL AND APPROVED PRODUCTS LIST MAY BE FOUND ON THE FW WEBSITE AT WWW.FAIRFAXWATER.ORG.
- THE DEVELOPER SHALL REQUEST INSPECTION BY FAIRFAX WATER THREE DAYS PRIOR TO COMMENCING CONSTRUCTION OF THE WATER MAIN (PHONE NUMBER 703-289-6388 OR 6389).
- NO WATER MAIN CONSTRUCTION IS PERMITTED OR VALVES OPERATED WITHOUT PRIOR NOTIFICATION OF FAIRFAX WATER (PHONE NUMBER 703-289-6388 OR 6389).
- MAXIMUM WORKING PRESSURE SHALL BE ___ PSI.
- THE DEVELOPER WILL BE RESPONSIBLE FOR ANY RELOCATION OR REMOVAL OF WATER MAINS AND APPURTENANCES DUE TO THE DEVELOPMENT OF THIS PROPERTY. SERVICE LINES WHICH WILL NO LONGER BE USED SHALL BE REMOVED AND DISCONNECTED AT THE WATER MAIN BY THE DEVELOPER, AND THE CORPORATION STOP SHUT-OFF AND CAPPED, OR REMOVED AND PLUGGED (WITH A TAPERED PLUG) AS DIRECTED BY THE FAIRFAX WATER INSPECTOR. THE DEVELOPER MAY ALSO BE REQUIRED TO USE ADDITIONAL PIPE RESTRAINT OR ALTERNATIVE CONSTRUCTION METHODS NOT SHOWN ON THE PLANS IF FIELD CONDITIONS WARRANT, AS DETERMINED BY THE FAIRFAX WATER INSPECTOR.
- ALL NEW AND EXISTING VALVE BOXES MUST BE FULLY ADJUSTED TO CONFORM TO THE FINAL ASPHALT GRADE. NO PAVING ADJUSTERS WILL BE PERMITTED.
- ALL NEW D.I.P. WATER MAIN SHALL BE WRAPPED WITH 4 MILLIMETER CROSS-LAMINATED POLYETHYLENE ENCASEMENT (SINGLE WRAPPED - LESS THAN 24", DOUBLE WRAPPED - 24" AND LARGER). THERE SHALL BE A 6 INCH ENVELOPE OF 21A SELECT FILL FOR ALL POLYETHYLENE WRAPPED WATER MAIN. SEE THE TRENCH DETAILS ON THE CURRENT VERSION OF FW STANDARD DETAILS. THESE DETAILS MAY BE FOUND ON THE FW WEBSITE AT WWW.FAIRFAXWATER.ORG.
- WHEN CONNECTING TO AN EXISTING WATER MAIN, CONTRACTOR MUST EXCAVATE AND EXPOSE NEAREST VALVE IN THE PRESENCE OF A FAIRFAX WATER INSPECTOR IN ORDER TO DETERMINE THE CONDITION OF ITS RESTRAINT. IF FW INSPECTOR DEEMS IT NECESSARY, CONTRACTOR MUST RESTRAIN THE VALVE OR REPLACE THE RESTRAINT SYSTEM.
- DURING WET TAP INSTALLATIONS THE CONTRACTOR SHALL SAVE AND TAG THE COUPON CLEARLY SHOWING THE DATE, LOCATION, DIAMETER AND PIPE MATERIAL. THE TAGGED COUPON SHALL BE GIVEN TO FAIRFAX WATER'S INSPECTOR FOR FURTHER PROCESSING. IF ANY PIPE IS TO BE ABANDONED, PRIOR TO CAPPING THE MAIN, A SMALL SECTION OF PIPE SHALL BE REMOVED, TAGGED AS DESCRIBED ABOVE AND GIVEN TO THE FAIRFAX WATER INSPECTOR.
- FIRE LINES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER. FAIRFAX WATER'S OWNERSHIP AND MAINTENANCE RESPONSIBILITY INCLUDES AND STOPS AT THE BRANCH VALVE AT FAIRFAX WATER'S MAIN IN THE RIGHT-OF-WAY OR EASEMENT.
- USE Q20 = 2700 GPM

PLANNING NOTES:

SPECIAL EXCEPTION:

SPECIAL EXCEPTION FOR:
 1. BUILDING HEIGHT BONUS - MAX. 85'
 2. RESIDENTIAL USE WITHIN MIXED-USE DEVELOPMENT IN B-1 DISTRICT.
 APPROVED ON JANUARY 11, 2016 (RESOLUTION 2016-04)

ARBORIST NOTES:

RPI MAP INFORMATION:

RPC #'s:

- 51-202-015, 51-202-014, 51-202-013, 51-202-012, 51-202-011, 51-202-010, 51-202-009, 51-202-028, 51-202-005, 51-202-004, 51-202-003**

MISCELLANEOUS NOTES:

- Upon satisfactory completion of the installation of required improvements, as shown on the approved site plan or a section thereof, the developer shall submit to the Department of Planning five copies of an as-built site plan certified by the engineer, architect and/or surveyor for approval for conformity with the approved site plan.
- The As-Built Site Plan shall be submitted and approved prior to the issuance of the final Occupancy Permit.
- Final approval by the Planning Commission of this site plan shall expire one year after the day of such approval if building permits have not been obtained for construction in accordance therewith, unless an extension is granted by the City.
- In any development involving a condominium, cooperative, automatic owners' association or other form of ownership in which there is common area within the development, the documents pertaining to this form of ownership shall be approved by the City Attorney prior to issuance of any Occupancy Permit.
- Any proposed changes or revisions during the execution of or subsequent to implementation of the approved site plan shall be subject to City review and approval.
- The federal emergency management agency's flood insurance rate map for the City of Falls Church, Virginia, map number 5100540001c, revised date July 16, 2004, designates the property as being in zone x, "Areas determined to be outside the 0.2% annual chance floodplain."

WAIVERS:

- A WAIVER OF THE 100' DISTANCE FROM A COMMERCIAL ENTRANCE OR EXIT TO AN "R" DISTRICT [SECT. 48-938 (d)]
 - PROPOSED SITE ENTRANCE OFF OF PARK AVENUE WITH A DISTANCE OF 50' TO RESIDENTIAL DISTRICT ACROSS PARK AVENUE.
- A WAIVER REQUESTED TO REDUCE THE BUFFER DENSITY TO THAT SHOWN ON THE PLAN. [SECT. 48-1183]
 - ALONG THE EASTERN PROPERTY LINE ADJACENT TO RPC #51-202-016. SEE DETAIL SHEET

VARIANCE:

VARIANCE REQUESTED FOR A 10' SETBACK ALONG THE EASTERN PROPERTY ADJACENT TO THE R-1B DISTRICT.

MISCELLANEOUS NOTES:

Easement(s):

- PUBLIC SIDEWALK & UTILITIES EASEMENT ALONG WEST BROAD STREET, NORTH WEST STREET & PARK AVENUE AS SHOWN ON THE PRELIMINARY SUBDIVISION PLAT.
- PUBLIC STORM SEWER EASEMENT FOR THE EXISTING STORM PIPE ON THE EASTERN EDGE OF THE SITE.

Subdvision(s) and Consolidation(s):

CONSOLIDATION OF THE (11) PARCELS INCLUDED IN THIS DEVELOPMENT.

Dedication(s):

- 0.1' (25 SF) DEDICATION FOR THE EAST-WEST PORTION OF NORTH WEST STREET TO CREATE A 25.0' DISTANCE FROM CENTERLINE TO PROPERTY LINE.
- 1,415 SF DEDICATION ON WEST BROAD STREET TO ALIGN THE PROPERTY AT THE EASTERN EDGE OF THE SITE.

Site Plan Approval:

-

APPROVALS

PLANNING COMMISSION FINAL APPROVAL:

SPECIAL USE PERMIT (Date(s) of Approval by BZA):

BOND(S) POSTED (Date(s) and Amount(s)):

FINAL STAFF APPROVAL:

Planning _____	Signature :	Date :
Public Works _____		

SUBSEQUENT ACTIONS:

BUILDING PERMIT ISSUED (Date) :	_____
AS-BUILT APPROVED (Date) :	_____
COMMON AREA DOCUMENTS APPROVED (Date) :	_____
LANDSCAPE ESCROW ACCEPTED (Date) :	_____
CERTIFICATE OF OCCUPANCY (Date) :	_____
OTHER :	

Revisions Approved prior to Certificate of Occupancy:

Description	Date Approved
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MASON ROW	_____
NAME OF PROJECT	_____
INTERSECTIONS OF WEST BROAD STREET, NORTH WEST STREET, AND PARK AVENUE	_____
ADDRESS	_____
MILL CREEK RESIDENTIAL C/O AMIRALI NASSERIAN	301-255-6008
CONTRACT PURCHASER	TELEPHONE #
6701 DEMOCRACY BOULEVARD SUITE 500 BETHESDA, MD 20817	240-292-6895
ADDRESS	FAX #
CURRENT PROPERTY OWNERS:	
SEE LIST OF PROPERTY OWNERS ON SHEET C-0305.	

WALTER L. PHILLIPS
INCORPORATED ESTABLISHED 1945



Engineers • Surveyors • Planners
 Landscape Architects • Arborists
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
 www.WLPINC.com

Site Plan	MUNIS # _	C-0101
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CONSTRUCTION NOTES

CONTRACTOR AND DEVELOPER ARE ADVISED THAT ANY ELECTRONIC FILES ASSOCIATED WITH THE PREPARATION OF THESE PLANS WILL NOT BE RELEASED TO OTHERS FOR USE IN CONSTRUCTION STAKEOUT OR RELATED SERVICES.

- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
- THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES BY MISS UTILITY TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED IF THIS INSTANCE OCCURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- THE CONTRACTOR SHALL VISIT THE SITE AND SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL CLEAR THE SITE OF ALL TREES, BUILDINGS, FOUNDATIONS, ETC. WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED, AND SHALL BE RESPONSIBLE FOR CAUSING EXISTING UTILITIES TO BE DISCONNECTED.
- THE DEVELOPER SHALL PROVIDE OVER-LOT GRADING TO PROVIDE POSITIVE DRAINAGE AND PRECLUDE PONDING OF WATER.
- FINISHED GRADES SHOWN FOR FINISHED TOP OF CURB GRADES ON EXISTING ROADS SHALL BE FIELD ADJUSTED AS REQUIRED TO CONFORM TO THE INTENT OF THE TYPICAL SECTION USING THE EXISTING EDGE OF PAVEMENT AS THE CONTROL POINT. A SMOOTH GRADE SHALL BE MAINTAINED FROM THE CENTERLINE OF THE EXISTING RIGHT-OF-WAY TO THE FACE OF CURB TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF WATER ON THE ROADWAY. THE EXISTING PAVEMENT SHALL BE RECAPPED AND/OR REMOVED AND REPLACED AS REQUIRED TO ACCOMPLISH THIS REQUIREMENT. CURB FORMS SHALL BE INSPECTED AND APPROVED FOR HORIZONTAL AND VERTICAL ALIGNMENT BY CITY OF FALLS CHURCH INSPECTORS PRIOR TO PLACING OF CONCRETE. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR FINISHED GRADES ON TOP OF STRUCTURED PARKING DECK.
- ALL AREAS, ON OR OFF-SITE, WHICH ARE DISTURBED BY THIS CONSTRUCTION AND WHICH ARE NOT PAVED OR BUILT UPON, SHALL BE ADEQUATELY STABILIZED TO CONTROL EROSION AND SEDIMENTATION. THE MINIMUM ACCEPTABLE STABILIZATION SHALL CONSIST OF PERMANENT GRASS, SEED MIXTURE TO BE RECOMMENDED BY THE CITY AGENT. ALL SLOPES 3:1 AND GREATER SHALL BE SODDED AND PEGGED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY CITY OF FALLS CHURCH.
- EXISTING WELLS SHALL BE PERMANENTLY ABANDONED IN ACCORDANCE WITH VIRGINIA STATE WATER CONTROL BOARD REQUIREMENTS.
- ALL OVER HEAD POLE LINES SHALL BE RELOCATED AS REQUIRED BY THE OWNING UTILITY COMPANIES AND AT THE DEVELOPERS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS AND COORDINATING ALL WORK REQUIRED FOR THE NECESSARY RELOCATIONS.
- SUBBASE MATERIAL SHOWN ON THE TYPICAL STREET SECTION SHALL CONFORM TO VDOT SPECIFICATIONS SECTION 209. PAVEMENT THICKNESS AS SHOWN ON THE PLAN ARE BASED ON AN ASSUMED SOIL SUPPORT VALUES (S.S.V.) OF 10 UNLESS OTHERWISE NOTED. A QUALIFIED SOILS TESTING FIRM SHALL BE ENGAGED BY THE CONTRACTOR TO DETERMINE THE ACTUAL S.S.V. IN ACCORDANCE WITH "A DESIGN GUIDE FOR SUBDIVISION PAVEMENTS IN VIRGINIA" BY N.K. VASWANI, OCTOBER 1973, VHC# 73-821 AS AMENDED. SOIL SUPPORT VALUES SHALL BE OBTAINED AT EACH CHANGE IN SUBGRADE SOILS AND AT A MAXIMUM SPACING OF 500 FEET WHERE SUBGRADE SOILS REMAIN CONSTANT. S.S.V. SHALL BE FURNISHED TO THE ENGINEER AND THE ENGINEER SHALL REVISE THE PAVEMENT DESIGN THICKNESS TO SHOW THE ACTUAL DEPTH OF PAVEMENT MATERIAL REQUIRED AND SHALL SUBMIT THE REVISION TO THE CITY OF FALLS CHURCH FOR REVIEW AND APPROVAL. THE CONTRACTOR IS ADVISED NOT TO BRING THE AREA SUBJECT TO THIS REVISION TO FINISHED GRADE UNTIL AFTER THE REVISED PAVEMENT SECTION IS APPROVED.
- PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL VERIFY FROM THE ARCHITECTURAL DRAWINGS ALL DIMENSION, DETAILS, AND TREATMENTS FOR THE PROPOSED BUILDINGS, WALKWAYS, AND OTHER PROPOSED CONSTRUCTION WHERE INDICATED ON THE PLANS. ANY DISCREPANCIES SHALL IMMEDIATELY BE REPORTED TO DESIGN ENGINEER.
- THE CONTRACTOR IS TO VERIFY INVERT, SIZE AND LOCATION OF BUILDING UTILITY CONNECTIONS WITH THE MECHANICAL PLANS PRIOR TO PLACEMENT OF UNDERGROUND UTILITIES.
- NO UNDERGROUND SOILS INVESTIGATION HAS BEEN PERFORMED BY WALTER L. PHILLIPS, INC. ALL SOILS INFORMATION PRESENTED AS PART OF THIS SITE PLAN HAS BEEN PREPARED BY OTHERS AND IS INCLUDED AS REQUIRED FOR CITY OF FALLS SITE PLAN APPROVAL.
- THE CONTRACTOR SHALL REMOVE EXISTING BUILDINGS, FENCES AND OTHER EXISTING PHYSICAL FEATURES AS REQUIRED.
- ALL PROPOSED SIDEWALK, CG-6, CG-2 OR CG-6R IS TO BE CONSTRUCTED WITH A MINIMUM 4" AGGREGATE BASE.
- EXISTING CONSTRUCTION SHALL BE REMOVED TO NEAREST JOINT. NEW CONSTRUCTION SHALL BE PROVIDED AS SHOWN AND ANY DAMAGED AREA SHALL BE REPAIRED TO MATCH CONDITIONS EXISTING PRIOR TO CONSTRUCTION.
- DAMAGE TO ANY EXISTING ENTRANCES, CURB AND GUTTER, PAVEMENT OR OTHER EXISTING STRUCTURES NOT PROPOSED TO BE DISTURBED WITH THIS DEVELOPMENT, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE REPAIRED TO THE SATISFACTION OF THE CITY OF FALLS CHURCH, THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND ANY ADJOINING OWNERS THAT MAY BE AFFECTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A SMOOTH TRANSITION TO EXISTING CURB.
- ALL PRIVATE BUILDING CONNECTIONS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.

- SEE ARCHITECTURAL AND/OR LANDSCAPE DRAWINGS FOR DIMENSIONS AND DETAILS FOR ALL RETAINING WALLS. ALL ON-SITE RETAINING WALLS ARE SUBJECT TO A SEPARATE BUILDING PERMIT TO BE OBTAINED BY OWNER. THIS PLAN IS FOR APPROXIMATE LOCATION AND PROPOSED GRADING ONLY. GEOTECHNICAL AND STRUCTURAL DESIGN TO BE ACCOMPLISHED BY OTHERS. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR THE PURPOSES OF DEMONSTRATING THE PROPOSED TOP AND BOTTOM ELEVATIONS AND LOCATION OF THE WALLS ONLY. RETAINING WALLS ARE TO BE MAINTAINED BY THE PROPERTY OWNERS.
- TOPS OF EXISTING STRUCTURES WHICH REMAIN IN USE ARE TO BE ADJUSTED IN ACCORDANCE WITH THE GRADING PLAN. ALL PROPOSED STRUCTURE TOP ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR WITH THE SITE GRADING PLANS. IN CASE OF CONFLICT, THE GRADING PLAN SHALL SUPERSEDE PROFILE ELEVATIONS. MINOR ADJUSTMENTS TO MEET FINISHED GRADE ELEVATIONS MAY BE REQUIRED.
- SEE LANDSCAPE PLAN FOR ALL ON-SITE SIDEWALK, PLANTING AND IRRIGATION DETAILS.
- THE DESIGN, CONSTRUCTION, FIELD PRACTICES AND METHODS SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY OF FALLS CHURCH AND ITS CURRENT ZONING ORDINANCE AND CONSTRUCTION STANDARDS MANUAL. FAILURE TO COMPLY WITH THE CODE, APPLICABLE MANUALS, PROVISIONS OF THE CONSTRUCTION AND ESCROW AGREEMENTS OR THE PERMITS SHALL BE DEEMED A VIOLATION.
- THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE OWNER/DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES WHICH MAY BE REQUIRED BY THE CODE OF VIRGINIA OR ANY ORDINANCE ENACTED BY THE GOVERNING AGENCY.
- A MINIMUM PERMISSIBLE GRADE OF 1.00% IS REQUIRED FOR PAVEMENT TO ASSURE POSITIVE DRAINAGE. IF THERE IS EXISTING PAVEMENT WHICH IS TO REMAIN UNDISTURBED DURING CONSTRUCTION AND IS LESS THAN 1.00%, THEN THE CONTRACTOR IS TO CHECK TO MAKE SURE THE SITE AREA WILL HAVE ADEQUATE DRAINAGE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THAT ANY EXISTING LANDSCAPING WHICH IS TO BE RELOCATED ON THE SITE WILL BE CAREFULLY STORED IN A DESIGNATED AREA BEFORE BEING REPLANTED. COORDINATION WITH THE OWNER FOR MUTUALLY AGREEABLE STORAGE LOCATIONS FOR LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF PLANT MATERIAL THAT DOES NOT SURVIVE STORAGE AND REPLANTING.
- CONSTRUCTION STAKEOUT SHALL BE UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA.
- NO EVIDENCE OF GRAVES OR BURIAL SITES HAS BEEN FOUND ON THIS PROPERTY.
- THE CONTRACT PURCHASER HEREBY JOINS IN THE SITE PLAN AND AGREES TO BE BOUND BY ALL PLAN REQUIREMENTS.


 SIGNATURE
 ANDREW NASSORAN
 NAME DATE
 ANDREW DIRECTOR
 TITLE

SURVEY NOTES

- THE PROPERTIES SHOWN HEREON ARE DESIGNATED BY THE CITY OF FALLS CHURCH, VIRGINIA, AS REAL PROPERTY CODE (RPC) NUMBERS:
 a) 51-202-009, 51-202-010, 51-202-011, 51-202-012, AND 51-202-028, ZONED B-3 "GENERAL BUSINESS"
 b) 51-202-003, 51-202-004, AND 51-202-005, ZONED B-1 "LIMITED BUSINESS"
 c) 51-202-0013, 51-202-014, AND 51-202-015, ZONED R-1B "MEDIUM DENSITY RESIDENTIAL" (PER THE CITY OF FALLS CHURCH ZONING)
- THE PROPERTIES ARE AS FOLLOWS:
 a) PARCEL 51-202-003, BEING LOT 3, AS RECORDED IN DEED BOOK F-8 AT PAGE 521, IS NOW IN THE NAME OF RAHEJA, LLC, AS RECORDED IN DEED BOOK 3240 AT PAGE 363 AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
 b) PARCEL 51-202-004, BEING PART OF LOT 2, AS RECORDED IN DEED BOOK F-8 AT PAGE 521, IS NOW IN THE NAME OF NABIHAH PAJELAH, MASSORAH NIAZY, AND ESMATULLAH NIAZY, AS RECORDED IN DEED BOOK 3225 AT PAGE 1656 AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
 c) PARCEL 51-202-005, BEING PART OF LOT 1, AS RECORDED IN DEED BOOK F-8 AT PAGE 521, IS NOW IN THE NAME OF ATALLA TRUST, NICK ATALLA, TRUSTEE, AS RECORDED IN DEED BOOK 2420 AT PAGE 847 AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
 d) PARCELS 51-202-009, 51-202-010 AND 51-202-011, BEING LOT 1 - 3, MINNIE D. ELLISON SUBDIVISION, AS RECORDED IN DEED BOOK 1257 AT PAGE 78, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA, IS NOW IN THE NAME OF JOHN E. SHREVE, ET AL, AS SURVIVING TRUSTEES, AS RECORDED IN DEED BOOK 6204 AT PAGE 627, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA, AND IN DEED BOOK 2741 AT PAGE 2090, AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
 e) PARCEL 51-202-012, BEING COMPRISED OF THE METES AND BOUNDS DESCRIPTION, AS RECORDED IN DEED BOOK 4090 AT PAGE 92, IS IN THE NAME OF JOHN E. SHREVE, ET AL, AS SURVIVING TRUSTEES, AS RECORDED IN DEED BOOK 6204 AT PAGE 622, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA AND IN DEED BOOK 2741 AT PAGE 2090, AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
 f) PARCEL 51-202-013, BEING PART OF LOT 1, D.J. BROWN'S PROPERTY, AS RECORDED IN DEED BOOK Y-9 AT PAGE 347, IS NOW IN THE NAME OF JOHN E. SHREVE, ET AL, AS SURVIVING TRUSTEES, AS RECORDED IN DEED BOOK 9504 AT PAGE 269, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA AND IN DEED BOOK 2741 AT PAGE 2126, AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
 g) PARCEL 51-202-014, BEING LOT 4, D.J. BROWN'S PROPERTY, AS RECORDED IN DEED BOOK Y-9 AT PAGE 347, IS NOW IN THE NAME OF TOD W. READ AND JULIA S. READ, AS RECORDED IN DEED BOOK 2561 AT PAGE 369 AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
 h) PARCEL 51-202-015, BEING LOT 3, D.J. BROWN'S PROPERTY, AS RECORDED IN DEED BOOK Y-9 AT PAGE 347, IS NOW IN THE NAME OF NIGEL J. YATES AND BERNADETTE REVERIE ADAMS, AS RECORDED IN DEED BOOK 3102 AT PAGE 1093 AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
 i) PARCEL 51-202-028, BEING COMPRISED OF PARCELS 1 THROUGH 6, AS RECORDED IN DEED BOOK 1220 AT PAGE 535, AND OUTLOT, MINNIE D. ELLISON SUBDIVISION, AS RECORDED IN DEED BOOK 1257 AT PAGE 78, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA, IS NOW IN THE NAME OF JOHN E. SHREVE, ET AL, AS SURVIVING TRUSTEES, AS RECORDED IN DEED BOOK 9504 AT PAGE 252, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA AND IN DEED BOOK 2741 AT PAGE 2107, AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.

BUILDING HEIGHT

AVERAGE GRADE	
EX.	PROP.
1	325.03
2	338.62
3	341.33
4	337.76
5	328.76
TOTAL	334.30

LOWEST AVE. GRADE = 334.27'

MAX. HT = 334.27 + 85 = 419.27
 PROP. HT = 340.8' + 74.67' = 415.47'
 413.15' - 334.27' = 78.88' BLDG. HT.
 SPECIAL EXCEPTION GRANTED FOR 85' BLDG HT

*SPECIAL EXCEPTION APPROVED FOR MAXIMUM BUILDING HEIGHT OF 85'

LOADING SPACE TABULATION

REQUIRED:
 SHOPPING CENTER - 2 SPACE
 HOTEL - 1 SPACE
 OFFICE - 1 SPACE
 RESIDENTIAL - 1 SPACE
 TOTAL 5 SPACES

ZONING TABULATION

EXISTING ZONE: B-1, B-3 & R-1B; REZONED TO B-1 THROUGH RESOLUTION 2016-04.
 EXISTING SITE AREA: 188,137 SF OR 4.32 ACRES
 PROPOSED DEDICATION WEST BROAD STREET: 1,415 SF (0.0325 ACRES)
 PROPOSED DEDICATION NORTH WEST STREET: 25 SF (0.0006 ACRES)
 PROPOSED PARCEL A CONSOLIDATION: 186,697 SF (4.3190 ACRES)
 PROPOSED SITE AREA: 186,697 SF OR 4.32 ACRES

	REQUIRED	PROVIDED
MAX. BUILDING HT.	55 FT.	78.88'
MIN. YARD REQUIREMENTS:		
FRONT (FROM FACE OF CURB)	20' (W. BROAD ST.)	20.1' (W. BROAD ST.)
	14' (N. WEST)	20.3' (N. WEST)
	14' (PARK AVE.)	14.2' (PARK AVE.)
SIDE	20' ADJ. TO EASTERN PROPERTY ALONG PARK AVE. RPC 51-202-016	10.3**
REAR	NONE	N/A

*SPECIAL EXCEPTION APPROVED FOR MAXIMUM BUILDING HEIGHT OF 85'
 **VARIANCE REQUESTED FOR SIDE YARD SETBACK OF 10' ADJACENT TO R-1B DISTRICT.

PARKING TABULATION

USE	TOTAL PROPOSED	REQUIRED PARKING RATIO [SEC. 48-1004]		PARKING REQUIRED	
		SPACE/	SPACES		
RESIDENTIAL (APARTMENTS)					
	STUDIOS	10 UNITS	1.0	UNIT	10
	1 BEDROOM	195 UNITS	1.5	UNIT	293
	2 BEDROOM	117 UNITS	2	UNIT	234
	TOTAL	322 UNITS			
TOTAL					537

HOTEL		SPACE/	SPACES		
			ROOM	SPACES	
	PER GUESTROOM	127 ROOMS	1	127	
	EMPLOYEE SPACE PER 10 ROOMS	127 ROOMS	1	10 ROOMS	13
TOTAL				140	

OFFICE		SPACE/	SPACES		
			SF	SPACES	
	PER OFFICE FLOOR AREA	4823 SF	1	450	11
TOTAL					11

THEATER		SPACE/	SEAT		SPACES
			SEAT	SPACES	
	FIXED SEATS	800 SEATS	1	4	200
TOTAL					200

RETAIL/RESTAURANT		SPACE/	SF		SPACES
			SF	SPACES	
	RETAIL/RESTAURANT SPACE	62619 SF	1	300	209
TOTAL					209

OVERALL TOTAL REQUIRED	PROVIDED				OVERALL REDUCTION REQUESTED
					8%
					1,097
					1,020

NOTES:
 1. RETAIL/RESTAURANT PARKED AT THE SHOPPING CENTER RATE OF 1 SPACE/300 SF.

Residential (Reserved)	BY Use (Reserved)	Hotel/Office/Retail/ Restaurant/Theater (Shared)
0	0	58
0	0	50
0	90	214
143	0	173
292	0	0
435	90	495

GARAGE LEVEL	SPACES PER LEVEL
1A - MEZZANINE	50
1 - SURFACE LEVEL	58
P0	304
P1- UNDERGROUND	316
P2- UNDERGROUND	292
TOTAL	1020

INCLUDES 21 ACCESSIBLE SPACES (4 VAN ACCESSIBLE)

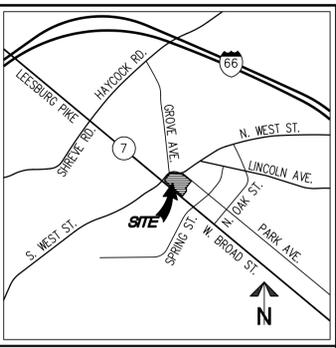
BIKE PARKING TABULATION

USE	SHORT-TERM REQUIRED [SEC. 48-1004]	LONG-TERM REQUIRED [SEC. 48-1004]	TOTAL REQUIRED
OFFICE	4823 SF	6	6
RETAIL	62619 SF	12	6
MULTIFAMILY	322 UNITS	7	129
HOTEL	127 ROOMS	6	13
TOTAL REQUIRED			185 SPACES
TOTAL PROVIDED			185 SPACES

(30 IN STREETScape, REMAINDER IN PARKING STRUCTURE)

Use Type	Short-Term/Visitor/ Customer	Long-Term/Employee/ Resident
Office	3 loops (6 spaces) or 1/20,000 sq. ft. office GFA or portion thereof, whichever is greater	3 loops (6 spaces) or 1/6,000 sq. ft. office GFA or portion thereof, whichever is greater
Retail	3 loops (6 spaces) or 2/10,000 sq. ft. of retail GFA or portion thereof, for the first 50,000 sq. ft., and 1 additional for every 12,500 sq. ft. or portion thereof, whichever is greater	3 loops (6 spaces) or 1/25,000 sq. ft. of retail GFA or portion thereof, whichever is greater
Multifamily	3 loops (6 spaces) or 1/50 units or portion thereof, whichever is greater	3 loops (6 spaces) or 1/2.5 units or portion thereof, whichever is greater
Hotel	3 loops (6 spaces) or 1/50 hotel, rooms or portion thereof, whichever is greater	3 loops (6 spaces) or 1/10 hotel rooms or portion thereof, whichever is greater
Use Type	Short-Term/Visitor/ Customer	Long-Term/Employee/ Resident
Office	Class 2 or Class 3	Class 1 or 2
Retail	Highly visible exterior locations within 50 feet of the entrance	Highly visible exterior locations within 50 feet of the entrance
Multifamily	Class 2 or Class 3	Class 1 or Class 2
Hotel	Class 2 or Class 3	Class 2 or Class 3

CLASS 1 STORAGE: LOCKED STORAGE ROOM OR CASE
 CLASS 2: PROTECTED OR COVERED
 CLASS 3: LIGHT SECURITY FOR VISITORS



VICINITY MAP SCALE: 1"=2000'

WALTER L. PHILLIPS
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 (703) 532-6163 Fax (703) 533-1301
 www.WLPHINC.com

ENGINEERS • SURVEYORS
 ESTABLISHED 1945
 DATE: 9/23/16
 SCALE: NONE

COMMONWEALTH OF VIRGINIA
 KAREN L. S. WHITE
 Lic. No. 04-1850
 9/23/16
 PROFESSIONAL SEAL

REVISION APPROVED BY: [] DATE: []
 APPROVED BY: [] DATE: []
 DESCRIPTION: []
 NO.: []

NOTES AND ZONING TABULATIONS
MASON ROW
 AT THE INTER SECTION OF WEST BROAD STREET,
 NORTH WEST STREET & PARK AVENUE
 CITY OF FALLS CHURCH, VIRGINIA

- (9) Premier Paperie – Card Shop
- (10) Artisan Olive Oil & Vinegar
- (11) Art Gallery/Art Studios/Art Framing
- (12) Flower Shop
- (13) Toy store
- (14) Music store
- (15) Shoe store
- (16) Leather Goods
- (17) Book store

SPORTS

- (1) Bike Shop with Bike Service/Repair
- (2) Running Store
- (3) Athletic Wear Store
- (4) Sporting Goods
- (5) Ski shop
- (6) Boating store

HOME FURNISHINGS/ACCESSORIES/GIFTS

- (1) Home Furnishing & Interior Design
- (2) Lamp/Lighting shop
- (3) Carpet store
- (4) Windows/Window Treatments

ELECTRONICS

- (1) Computer Store
- (2) Wireless Telephone

- (3) Electronics store
- (4) Computerized Games

WELLNESS (Mainstream)

- (1) Fitness Center
- (2) Health Supplements
- (3) Pharmacy

FINANCIAL SERVICES (Mainstream)

- (1) Bank Retail Branch Office – with no drive thru

THEATER

- (1) Movie Cinema or Cinema Draft house/Dine-In Theaters
- (2) Live Stage Theater/Performing Arts

GROCERIES

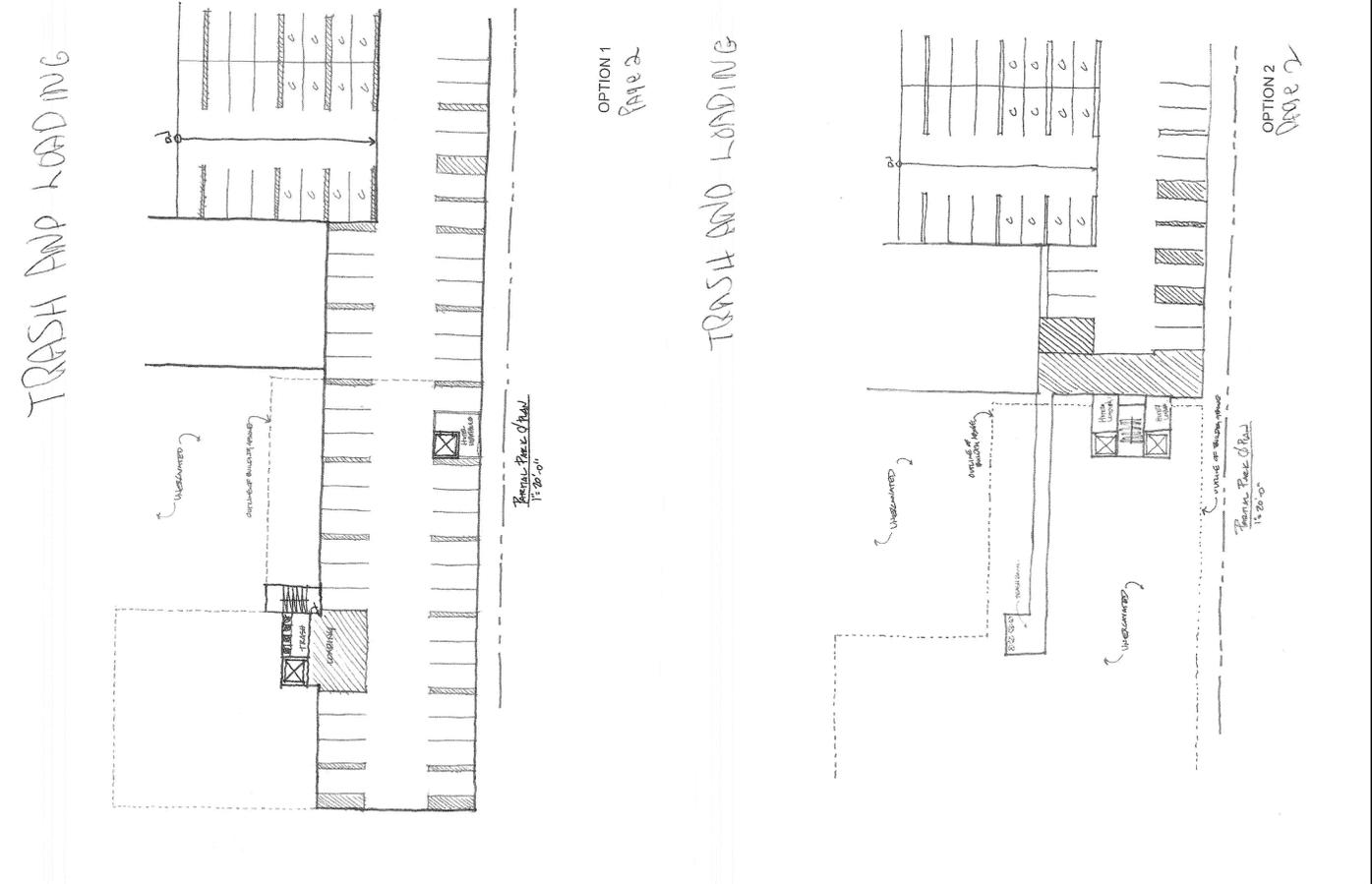
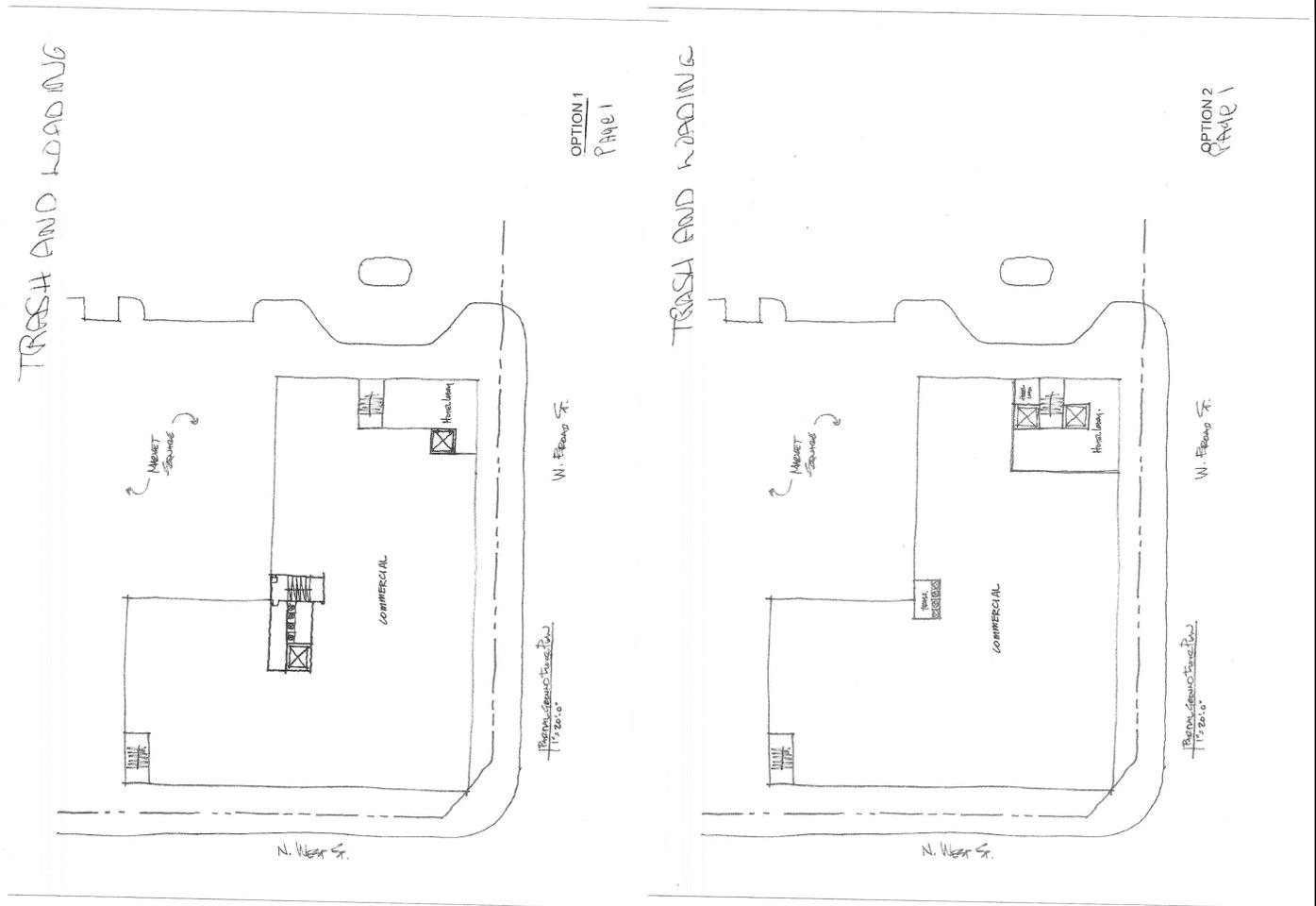
- (1) Grocery store
- (2) Convenience store

NEIGHBORHOOD SERVICES RETAIL and OTHER CONDITIONAL RETAIL USES (This Retail Category is Limited to 15% of Total Ground Floor Retail in the Mason Row Project – Addressed in the VCs)

- (1) Packaging and Shipping store
- (2) Copy shop
- (3) Cleaners
- (4) Office Supplies
- (5) Child Learning Center
- (6) Child Fitness Center

- (7) Hardware store
- (8) Shoe repair
- (9) Travel Services
- (10) Yoga & Pilates Studio
- (11) Spa Treatments and Acupuncture
- (12) Dentist/Doctor's Office, Urgent Care
- (13) Private Wealth Management Office
- (14) Insurance Office
- (15) Accounting and Tax services
- (16) Small Pet Shop/Dog Training
- (17) Hair Styling
- (18) Antiques
- (19) ABC Liquor store

**EXHIBITS FOR VOLUNTARY CONCESSIONS
PROVIDED BY APPLICANT
JANUARY 7, 2016**



VOLUNTARY CONCESSIONS

MASON ROW
AT THE INTER SECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

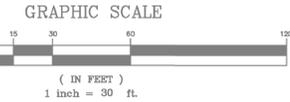
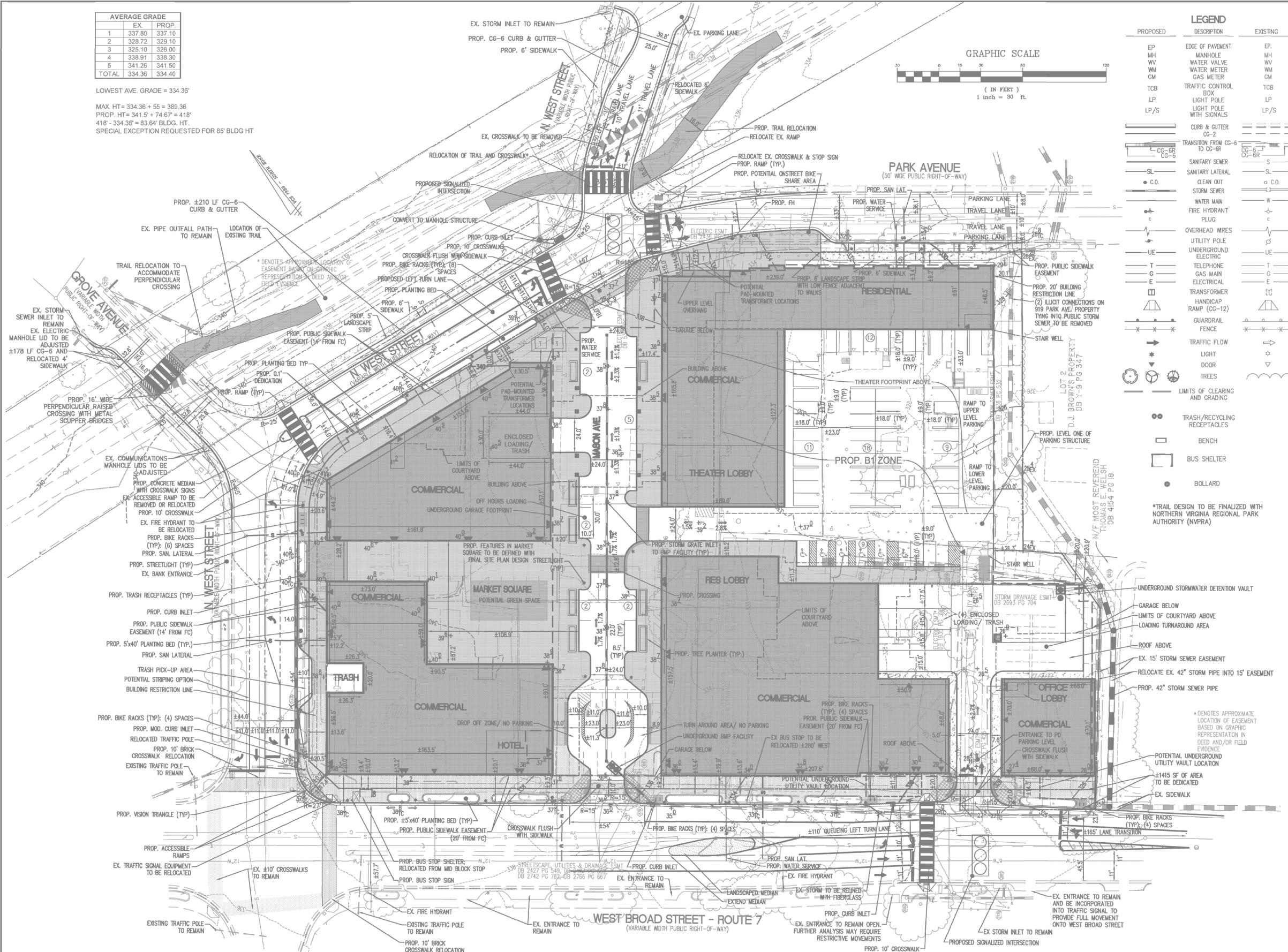


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AVERAGE GRADE		
EX	PROJ.	
1	337.80	337.10
2	328.72	329.10
3	325.10	326.00
4	338.91	338.30
5	341.26	341.50
TOTAL	334.36	334.40

LOWEST AVE. GRADE = 334.36'

MAX HT = 334.36 + 55 = 389.36
 PROJ. HT = 341.5' + 74.67' = 418'
 418' - 334.36' = 83.64' BLDG. HT.
 SPECIAL EXCEPTION REQUESTED FOR 85' BLDG HT



LEGEND		
PROPOSED	DESCRIPTION	EXISTING
EP	EDGE OF PAVEMENT	EP
MH	MANHOLE	MH
WV	WATER VALVE	WV
WM	WATER METER	WM
GM	GAS METER	GM
TCB	TRAFFIC CONTROL BOX	TCB
LP	LIGHT POLE	LP
LP/S	LIGHT POLE WITH SIGNALS	LP/S
CG-2	CURB & GUTTER	CG-2
CG-6	TRANSITION FROM CG-6 TO CG-6R	CG-6
CG-6R	CG-6	CG-6R
SL	SANITARY SEWER	S
SL	SANITARY LATERAL	SL
C.O.	CLEAN OUT	C.O.
W	STORM SEWER	W
W	WATER MAIN	W
H	FIRE HYDRANT	H
P	PLUG	P
U	OVERHEAD WIRES	U
UE	UNDERGROUND ELECTRIC	UE
T	TELEPHONE	T
G	GAS MAIN	G
E	ELECTRICAL	E
TR	TRANSFORMER	TR
R	HANDICAP RAMP (CG-12)	R
G	GUARDRAIL	G
F	FENCE	F
TF	TRAFFIC FLOW	TF
L	LIGHT	L
D	DOOR	D
T	TREES	T
GC	LIMITS OF CLEARING AND GRADING	GC
TR	TRASH/RECYCLING RECEPTACLES	TR
B	BENCH	B
BS	BUS SHELTER	BS
B	BOLLARD	B

*TRAIL DESIGN TO BE FINALIZED WITH NORTHERN VIRGINIA REGIONAL PARK AUTHORITY (NVRA)

CONCEPTUAL DEVELOPMENT PLAN

MASON ROW
 CITY OF FALLS CHURCH, VIRGINIA

SHEET: P-0401

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 (703) 532-6163 Fax (703) 533-1301
 www.WLPHINC.com

DATE: 01/08/2014 REV: 07/07/2014 REV: 01/03/2014
 DRAWN: JAV/BS
 CHECKED: JAV/BS
 SCALE: 1" = 30'

APPROVED SPECIAL EXCEPTION CONCEPTUAL DEVELOPMENT PLAN

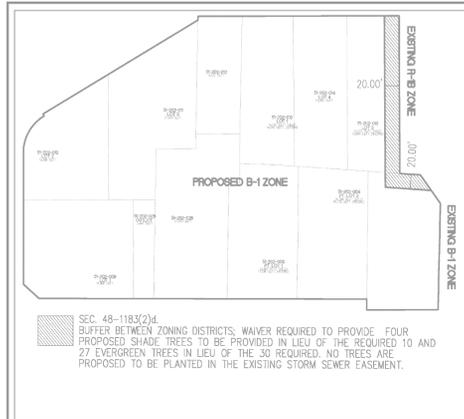
MASON ROW
 AT THE INTER SECTION OF WEST BROAD STREET,
 NORTH WEST STREET & PARK AVENUE
 CITY OF FALLS CHURCH, VIRGINIA

SHEET: C-0208

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DATE: 01/08/2014 REV: 07/07/2014 REV: 01/03/2014
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 SCALE: 1" = 30'

NO.	DESCRIPTION	DATE	REV. BY	APPROVED



SEC. 48-11B3(2)d
 BUFFER BETWEEN ZONING DISTRICTS. WAIVER REQUIRED TO PROVIDE FOUR PROPOSED SHADE TREES TO BE PROVIDED IN LIEU OF THE REQUIRED 10 AND 27 EVERGREEN TREES IN LIEU OF THE 30 REQUIRED. NO TREES ARE PROPOSED TO BE PLANTED IN THE EXISTING STORM SEWER EASEMENT.

IMPERVIOUS AREA:

Pre-Development Land Cover (acres)		
D Soils	Totals	
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land	0.00	0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed	1.15	1.15
Impervious Cover (acres)	3.17	3.17
Total	4.32	

Post-Development Land Cover (acres)		
D Soils	Totals	
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land	0.00	0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed	0.17	0.17
Impervious Cover (acres)	4.15	4.15
Total	4.32	

1 YR STORMWATER COMPUTATIONS BALANCE EQUATION

Q_{developed} ≤ I.F. * (Q_{pre-developed} + R_{vpre-developed}) / R_{vdeveloped}
 I.F. = 0.9 (less than 1 acre) I.F. = 0.8 (greater than 1 acre)
 Q_{developed} = Q_{detained} + Q_{undetained} + Q_{detained} (2.26 CFS) = 9.914 CFS
 I.F. * (Q_{pre-developed} + R_{vpre-developed}) / R_{vdeveloped} = 10.015 CFS
 (R_{vdeveloped} = R_{vundetermined} + R_{vdetained})
 0.8 * (13.72 * 28938) / 31714 = 9.914 CFS < 10.015 CFS

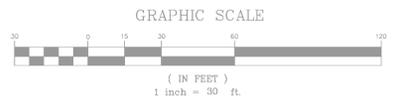
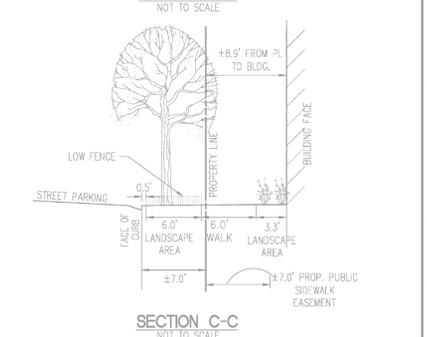
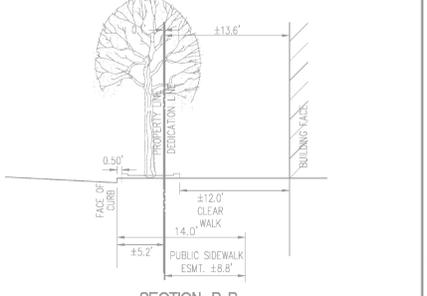
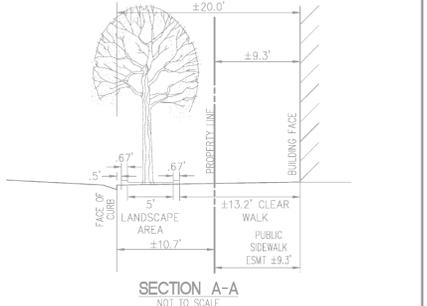
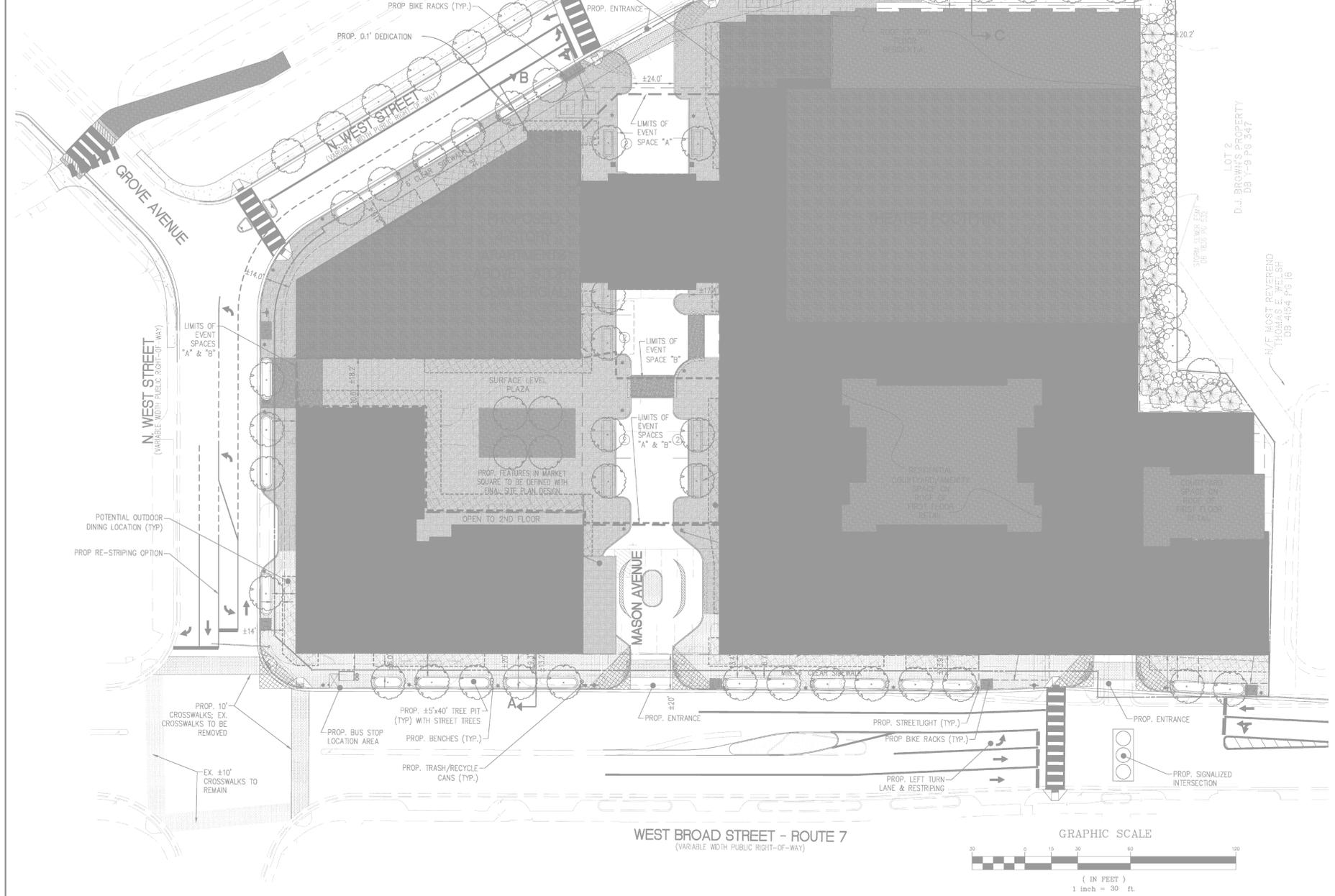
10 YR STORMWATER COMPUTATIONS

Q_{developed} (detained + undetained) ≤ Q_{pre-developed}
 10.91 CFS (detained) + 15.61 CFS (undetained) = 26.52 CFS
 26.52 CFS < 29.13 CFS pre-development

FINAL STORMWATER QUALITY & QUANTITY DESIGN TO ACHIEVE REQUIREMENTS TO BE PROVIDED WITH SITE PLAN.

LEGEND

PROPOSED	DESCRIPTION	EXISTING
EP	EDGE OF PAVEMENT	EP
MH	MANHOLE	MH
WV	WATER VALVE	WV
WM	WATER METER	WM
GM	GAS METER	GM
TCB	TRAFFIC CONTROL BOX	TCB
LP	LIGHT POLE	LP
LP/S	LIGHT POLE WITH SIGNALS	LP/S
SL	SANITARY LATERAL	SL
C.O.	CLEAN OUT	C.O.
W	WATER MAIN	W
F	FIRE HYDRANT	F
UE	UTILITY POLE	UE
T	TELEPHONE	T
G	GAS MAIN	G
E	ELECTRICAL	E
TR	TRANSFORMER	TR
R	RAMP (CG-12)	R
X	FENCE	X
→	TRAFFIC FLOW	→
○	LIGHT	○
□	DOOR	□
○	TREES	○
□	LIMITS OF CLEARING AND GRADING	□
□	BIORETENTION PLANTER	□
□	POTENTIAL OUTDOOR DINING AREAS, AVERAGE 6'-8" MOTH (MUST MAINTAIN 6" SIDEWALK CLEARANCE)	□



CONCEPTUAL STREETSCAPE PLAN

MASON ROW

CITY OF FALLS CHURCH, VIRGINIA

Engineers • Surveyors • Planners
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 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-6163 Fax (703) 533-1301
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INCORPORATED ESTABLISHED 1946
 DATE: 01/09/2014, REV: 07/02/2014, REV: 08/28/2014, 12/15/2014
 SCALE: 1" = 30'
 DRAWN: AA, BS
 CHECKED: RW

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

APPROVED SPECIAL EXCEPTION CONCEPTUAL DEVELOPMENT PLAN

MASON ROW

AT THE INTER SECTION OF WEST BROAD STREET,
 NORTH WEST STREET & PARK AVENUE
 CITY OF FALLS CHURCH, VIRGINIA

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

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 SCALE: 1" = 30'
 DRAWN: AA, BS
 CHECKED: RW



NOTES:

- MANHOLE TO MEET CURRENT REQUIREMENTS OF A.S.T.M. SPEC. C-476
- ALL REINFORCING STEEL TO MEET CURRENT REQUIREMENTS OF A.S.T.M. SPEC. A-615
- CONCRETE TO BE CLASS A.
- TAPERED JOINT WITH O-RING GASKET TO MEET CURRENT REQUIREMENTS OF A.S.T.M. SPEC. C-361
- PIONEER 301 MASTIC OR APPROVED EQUAL SHALL BE USED IN ADDITION TO THE JOINT SPECIFIED.
- GROUT INVERTS SHALL CONSIST OF A PORTLAND CEMENT CONCRETE MIX TO VIRGINIA DEPARTMENT OF TRANSPORTATION SPECIFICATION FOR CLASS B-2 OR CONTAINING 1 PART CEMENT, 2 PARTS MORTAR SAND AND 3 1/2 PARTS AGGREGATE. THE SURFACE SHALL BE HAND TROWELED SMOOTH WITH NO COARSE AGGREGATE EXPOSED AND THE BENCHES ARE TO HAVE A LIGHT BROOM FINISH.
- FLEXIBLE JOINT REQUIRED ON ALL PIPE CONNECTIONS TO MANHOLE. FLEXIBLE JOINT PIPE TO MANHOLE SLEEVE MAY BE KOR-11 SEAL, INTERSPACE, PRESSEKOR OR APPROVED EQUAL. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REFER ALSO TO STD. DETAILS.
- JOINT CONFIGURATION MAY BE CAST BELL-UP OR SPIGOT-UP.

SEE DETAIL THIS DRAWING FOR INSTALLATION OF STRAPPING DEVICE AS SHOWN WHERE MH IS SUBJECT TO WATER VELOCITIES. INDIVIDUAL MHS TO BE STRAPPED AND DETAILS AS TO NUMBER & LOCATION OF STRAPS TO BE SHOWN ON PLANS.

NOTCH FOR O-RING OR SINGLE OFFSET GASKET (SEE DETAIL ABOVE) (TYP.)

3" TAPERED LIFT HOLE, PLUGGED OUTSIDE ONLY WITH RUBBER PLUG, MORTAR OR MASTIC MAX. BASE SECTION TO PROVIDE MIN. 6" CLEARANCE BETWEEN TOP OF PIPE AND BOTTOM OF BELL AND SPIGOT JOINT.

IN FILL AREAS, BASE SECTION FOOTING MUST BE SPREAD A MIN. 8" OR MORE AS DETAILED ON THE PLANS.

MANHOLE BASE TO BE BEDDED IN 6" MINIMUM GRANULAR BEDDING ON FIRM SUBGRADE. SEE STD. DETAIL S-3 FOR PIPE BEDDING.

**STANDARD DETAIL
TYPICAL 4'-0" I.D.
PRECAST CONCRETE MANHOLE**

CITY OF FALLS CHURCH, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES
PUBLIC UTILITIES DIVISION

DATE: _____
REVISED: BY _____
APPROVED: _____
PREPARED: _____

DRAWING NO. **S**
SCALE: NONE

ALL ACCESS COVER LIDS ON ALL MANHOLES WITHIN CITY RIGHT OF WAY OR EASEMENTS AND TO BE PUBLICLY MAINTAINED MUST BE PAM ACCESS OVER AS APPROVED BY ENGINEERING STAFF.

MATERIAL: GRAY IRON

PROVIDE TWO PICK HOLES IN COVER

PLAN VIEW
25 3/4" DIA.

SECTION A-A
25 1/2" DIA.

SECTION THRU COVER

NOTES:

- FRAME AND COVER SHALL BE GRADE 65-45-12 DUCTILE IRON CONFORMING TO ASTM 536
- RAM-NEK OR PIONEER 301 MASTIC OR EQUAL REQUIRED WITH WATER-TIGHT FRAME AND COVER
- FRAME AND COVER SHALL BE DESIGNED FOR H-20 TRUCK LOADING.
- FOR FRAME ANCHORAGE SEE STANDARD DET. S-7

**STANDARD DETAIL
STANDARD
MANHOLE FRAME & COVER**

CITY OF FALLS CHURCH, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES
PUBLIC UTILITIES DIVISION

DATE: _____
REVISED: BY _____
APPROVED: _____
PREPARED: _____

DRAWING NO. **S**
SCALE: NONE

NOTE:

- CONCRETE TO BE CLASS A.
- ALL REINFORCING TO MEET REQUIREMENTS OF CURRENT A.S.T.M. SPEC. A-615
- MANHOLE SECTIONS TO MEET REQUIREMENT OF CURRENT A.S.T.M. SPEC. C-478
- TAPERED JOINT WITH O-RING GASKET TO MEET CURRENT REQUIREMENTS OF A.S.T.M. SPEC. C-361
- DOGHOUSE OPENING MAY ONLY BE USED WHEN PLACING A NEW MANHOLE OVER AN EXISTING LINE. OTHERWISE THE OPENING MUST BE CAST. SIZE, LOCATION & ANGLE OF ENTRY SHALL BE AS REQUIRED BY THE PLANS.
- MANHOLE SECTION TO BE CASE IN THE BASE OF A MINIMUM OF 2"
- JOINT CONFIGURATION MAY BE CAST BELL-UP OR SPIGOT-UP.
- HOLES IN PRECAST UNITS ARE TO BE 4" MIN. TO 8" MAX. LARGER THAN THE OUTSIDE DIA. OF THE PROPOSED PIPE.
- BASE SECTION TO PROVIDE MIN. 6" CLEARANCE BETWEEN TOP OF PIPE OPENING AND BOTTOM OF BELL AND SPIGOT JOINT.

CHART "A"
MIN. DIMENSIONS
MH 4'-0" 5'-0" 6'-0"
A 48" 60" 72"
B 58" 72" 86"
C 5" 6" 7"
D 6" 8" 10"

NOTE:
FOR DOGHOUSE BASE CONSTRUCTED OVER PVC PIPE, REMOVE EXISTING PVC PIPE BEYOND BASE DIMENSIONS AND BELL/PLAIN END INSERT SHORT LENGTHS OF PVC PIPE INTO STANDARD MANHOLE BASE WITH FLEXIBLE GASKET CONNECTORS

**STANDARD DETAIL
PRECAST CONCRETE MANHOLE
DOGHOUSE BASE**

CITY OF FALLS CHURCH, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES
PUBLIC UTILITIES DIVISION

DATE: _____
REVISED: BY _____
APPROVED: _____
PREPARED: _____

DRAWING NO. **S**
SCALE: NONE

- CITY OF FALLS CHURCH SEWER MAIN CONSTRUCTION NOTES**
- Sewer main construction shall comply with the latest issues of the City of Falls Church Technical Specifications and Standard Details for Sewer Main Construction, DEQ/VDH Manual of Practice for Sewerage Systems, VDOT Road & Bridge Specifications & Standards, and Fairfax County Public Facility Manual (PFM).
 - Prior to commencing the sewer main construction, the Contractor shall verify of all the underground utilities (Power, Gas, Telephone, TV Cables, Water, Storm Sewer, within the project site. The contractor shall notify MISS UTILITY @ 811 Three (3) working days in advance. The Contractor shall be solely and entirely liable for any accident and/or damage caused by the construction of this project.
 - The Contractor shall notify the City of Falls Church, Department of Public Works, 703-249-5350, of any conflict with other existing utilities in the field of at least (3) working days in advance, in order for the City to correct or adjust the design prior to installing the affected portion of sewer.
 - All sewer mains shall be PVC pipes SDR-35, unless otherwise approved by the City of Falls Church.
 - There is no sewer main less than eight (8) inches in diameter allowed to be permanently installed in the City of Falls Church Sewer System.
 - Sewer house service connection (lateral) and sewer tap to the main shall be privately owned and maintained. The City's responsibility stops at the sewer main, located in the street right-of-way or easement.
 - All construction must be done in compliance with The Occupational Safety and Health Act (OSHA) of 1970, and all rules and regulations thereto appurtenant.
 - The Contractor shall be responsible of any repair and restoration required prior to finish grading and surfacing of the streets and/or easements. Final acceptance will not be considered or granted until after the streets have been resurfaced or the easements finally graded to equal or better than the original condition.
 - Tapping into existing manholes for a sewer pipe 10" or less in diameter will be done by coring. Pipe sizes 12" diameter and larger may be connected to the manhole wall with a short length of pipe with a joint within two feet (2') of the inside face of the manhole wall.
 - The lateral connection to the main sewer shall be installed at two feet (2') minimum distance from any pipe joint (center to center). This shall also apply to the distance between 2 laterals.
 - Manhole frames subject to 115-20 highway loading shall be set in an approved non-shrink grout.
 - Sewer subject to vehicle traffic shall be installed with a minimum cover of 6 feet. Otherwise, it shall be protected from effects of traffic with HS-20 highway loading.

TAPER OVERLAY (FEATHER) TO PROVIDE SMOOTH TRANSITION

2" VDOT SM-2A ASPHALT SURFACE COURSE

6" VDOT BM-2 ASPHALT SURFACE COURSE

6" COMPACTED VDOT 21-A STONE COMPACTED TO 95% MAX DENSITY

COMPACTED SUBGRADE OR FILL

VDOT #57 STONE

SAW CUT (TYP.)

NOTE: PIPE SHOWN FOR REFERENCE ONLY REFER TO SPECIFIC PIPE DETAIL

STANDARD CURB DROP INLET (WITH UTILITY SPACE)
36" - 48" PIPE; MAXIMUM DEPTH (H) - 8"
VIRGINIA DEPARTMENT OF TRANSPORTATION

DATE: _____
REVISED: BY _____
APPROVED: _____
PREPARED: _____

DRAWING NO. **R.06**
SCALE: N.T.S.

CITY OF FALLS CHURCH VA PUBLIC FACILITIES MANUAL

TABLE OF QUANTITIES

TYPE	L	AREA OF SLOT		REINFORCING STEEL												WEIGHT								
		FL.	Sq. Ft.	Concrete	BARS A		BARS B		BARS C		BARS D		BARS E		BARS F		BARS G		BARS H					
DI-4D	4'	1.83	5.60	5	4'-8"	5	4'-8"	6	9'-2"	6	4'-8"	6	9'-2"	6	4'-8"	6	9'-2"	6	4'-8"	6	9'-2"	6	4'-8"	144
	6'	2.75	8.02	5	8'-8"	5	8'-8"	3	11'-0"	3	11'-0"	3	11'-0"	3	11'-0"	3	11'-0"	3	11'-0"	3	11'-0"	3	11'-0"	205
	8'	3.67	8.48	5	8'-8"	7	8'-7" to 8'-10"	8	9'-2"	6	4'-8"	4	4'-0"	3	11'-0"	11	1'-0"	4	4'-6"	252				
	10'	4.58	8.81	5	10'-8"	11	8'-7" to 8'-10"	8	9'-2"	6	4'-8"	4	4'-0"	3	11'-0"	11	1'-0"	4	4'-6"	289				
	12'	5.50	7.35	5	12'-8"	15	8'-7" to 8'-10"	8	9'-2"	6	4'-8"	4	4'-0"	3	11'-0"	11	1'-0"	4	4'-6"	345				
	14'	6.42	7.80	5	14'-8"	18	8'-7" to 8'-10"	8	9'-2"	6	4'-8"	4	4'-0"	3	11'-0"	11	1'-0"	4	4'-6"	392				
	16'	7.33	8.23	5	16'-8"	21	8'-7" to 8'-10"	8	9'-2"	6	4'-8"	4	4'-0"	3	11'-0"	11	1'-0"	4	4'-6"	439				
	18'	8.25	8.69	5	18'-8"	27	8'-7" to 8'-10"	8	9'-2"	6	4'-8"	4	4'-0"	3	11'-0"	11	1'-0"	4	4'-6"	486				
	20'	9.17	9.14	5	20'-8"	31	8'-7" to 8'-10"	8	9'-2"	6	4'-8"	4	4'-0"	3	11'-0"	11	1'-0"	4	4'-6"	532				
	8'	3.67	6.43	5	8'-8"	6	8'-7" to 8'-10"	10	9'-2"	6	4'-8"	8	2'-0"	6	11'-0"	9	1'-0"	4	4'-6"	287				
	10'	4.58	6.87	5	10'-8"	10	8'-7" to 8'-10"	10	9'-2"	6	4'-8"	8	3'-0"	6	11'-0"	9	1'-0"	4	4'-6"	313				
	12'	5.50	7.32	5	12'-8"	14	8'-7" to 8'-10"	10	9'-2"	6	4'-8"	8	4'-0"	6	11'-0"	9	1'-0"	4	4'-6"	350				
	14'	6.42	7.76	5	14'-8"	18	8'-7" to 8'-10"	10	9'-2"	6	4'-8"	8	5'-0"	6	11'-0"	9	1'-0"	4	4'-6"	407				
	16'	7.33	8.21	5	16'-8"	22	8'-7" to 8'-10"	10	9'-2"	6	4'-8"	8	6'-0"	6	11'-0"	9	1'-0"	4	4'-6"	454				
	18'	8.25	8.65	5	18'-8"	26	8'-7" to 8'-10"	10	9'-2"	6	4'-8"	8	7'-0"	6	11'-0"	9	1'-0"	4	4'-6"	500				
	20'	9.17	9.10	5	20'-8"	30	8'-7" to 8'-10"	10	9'-2"	6	4'-8"	8	8'-0"	6	11'-0"	9	1'-0"	4	4'-6"	547				

NOTES:

- DEPTH OF INLET (H) TO BE SHOWN ON PLANS.
- THE "H" DIMENSION SHOWN ON THE STANDARDS AND SPECIFIED ON THE PLANS WILL BE MEASURED FROM THE INVERT OF THE OUTFALL PIPE TO THE TOP OF THE STRUCTURE. PLAN "H" DIMENSIONS ARE APPROXIMATE ONLY FOR ESTIMATING PURPOSES AND THE ACTUAL DIMENSIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD CONDITIONS.
- WHEN SPECIFIED ON THE PLANS THE INVERT IS TO BE SHAPED IN ACCORDANCE WITH STANDARD ST-1. THE COST OF FINISHING AND PLACING ALL BE MATERIALS INCIDENTAL TO THE SHAPING IS TO BE INCLUDED IN THE BID PRICE FOR THE STRUCTURE.
- IN THE EVENT THE INVERT OF THE OUTFALL PIPE IS HIGHER THAN THE BOTTOM OF THE STRUCTURE THE INVERT OF THE STRUCTURE SHALL BE SHAPED WITH CEMENT MORTAR TO PREVENT STANDING OR PONDING OF WATER IN THE STRUCTURE. THE COST OF FINISHING AND PLACING ALL BE MATERIALS INCIDENTAL TO THE SHAPING IS TO BE INCLUDED IN THE BID PRICE FOR THE STRUCTURE.
- STEPS ARE TO BE PROVIDED WHEN H IS 4'-0" OR GREATER. FOR DETAILS SEE STANDARD ST-1.
- THIS ITEM MAY BE PRECAST OR CAST-IN-PLACE.
- #4 X 8" SMOOTH DOWELS AT APPROXIMATELY 12" C-C TO BE PLACED IN ALL AREAS ADJACENT TO ADJUTING CONCRETE TO PREVENT SETTLEMENT. IN LIEU OF DOWELS A 2" X 4" NOTCH MAY BE PROVIDED. SEE STANDARD T-01-3, 4 FOR ALTERNATE DESIGN.
- 3" DIAMETER WEEP HOLE TO BE LOCATED TO DRAIN SUBGRADE MATERIAL. WEEP HOLE WITH 1/2" X 1/2" PLASTIC HARDWARE CLOTH 1/4" MESH OR GALVANIZED STEEL WIRE MESH MINIMUM WIRE DIAMETER 0.03" NUMBER 4 WIRE HARDWARE CLOTH ANCHORED FIRMLY TO THE OUTSIDE OF THE STRUCTURE.
- ALL REINFORCING STEEL SHALL HAVE A MIN. COVER OF 2".
- ALL REINFORCING STEEL TO BE CUT CLEAR OF ALL OPENINGS BY 2".
- CAST-IN PLACE CONCRETE IS TO BE CLASS A3 GRADE PER. PRECAST CONCRETE IS TO BE 4000 PSI.
- THIS STANDARD IS INTENDED FOR USE IN CURB AND GUTTER SITUATIONS ONLY.
- IF INLET IS CONSTRUCTED IN MEDIAN CURB OR WITH INTEGRAL CURB, GUTTER IS TO BE OMITTED (SEE DETAIL).
- STANDARD INLETS MAY BE CONSTRUCTED WITH CONCRETE BLOCKS IN ACCORDANCE WITH THE DETAILS SHOWN ON STANDARD DRAWING DI-MB.
- THIS AREA MAY BE EARLIER IN WHICH CASE THE EXPANSION JOINTS WILL APPLY ONLY TO CURB AND GUTTER.
- CONCRETE QUANTITIES SHOWN ARE FOR DEPTH (H) OF 8'-2" WITHOUT PIPES. THE AMOUNT DISPLACED BY PIPES MUST BE DEDUCTED TO OBTAIN TRUE QUANTITIES. FOR INLETS OF DIFFERENT DEPTHS ADD OR SUBTRACT 0.28 CUBIC YARDS OF CONCRETE FOR EACH FOOT OF DEPTH.
- LENGTH OF ANGLE IRON ON SHEET 1 OF 2 IS TO BE L+16" AT 4.10 LBS./FT..
- X DENOTES LENGTH OF ONE (1) BAR.
- ALL REINFORCING BARS TO BE #5.
- INLET MAY BE USED WITH LARGER LONGITUDINAL PIPES (60" MAXIMUM) PROVIDED UTILITY SPACE CLEARANCE IS NOT NEEDED, HORIZONTAL CLEARANCE BETWEEN ADJACENT PIPES IS ADEQUATE AND MINIMUM HEIGHT (H) EQUALS PIPE DIAMETER PLUS 3 FEET.

FRONT ELEVATION VIEW (GUTTER REMOVED)

SECTION A-A

NOSE DETAILS

DETAIL WHEN USED ADJACENT TO CURB WITHOUT GUTTER

DETAIL WHEN USED ADJACENT TO CURB WITH GUTTER

SECTION B-B

SECTION A-A

STANDARD CURB DROP INLET (WITH UTILITY SPACE)
36" - 48" PIPE; MAXIMUM DEPTH (H) - 8"
VIRGINIA DEPARTMENT OF TRANSPORTATION

DATE: _____
REVISED: BY _____
APPROVED: _____
PREPARED: _____

DRAWING NO. **233**
SCALE: NONE

WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1945
DATE: 02/23/16
SCALE: NONE

PHILLIPS
KAREN L. S. WHITE
Lic. No. 041850
9/23/16
PROFESSIONAL ENGINEER

Engineers • Surveyors • Planners
Landscape Architects • Arborists
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
FAX (703) 532-6163
WWW.WLPHINC.COM

REVISION APPROVED BY: _____
DATE: _____
REVISION APPROVED BY: _____
DATE: _____
REVISION APPROVED BY: _____
DATE: _____

MASON ROW
AT THE INTER SECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA

DETAILS

STANDARD CURB DROP INLET (WITH UTILITY SPACE)
36" - 48" PIPE; MAXIMUM DEPTH (H) - 8"
VIRGINIA DEPARTMENT OF TRANSPORTATION

DATE: _____
REVISED: BY _____
APPROVED: _____
PREPARED: _____

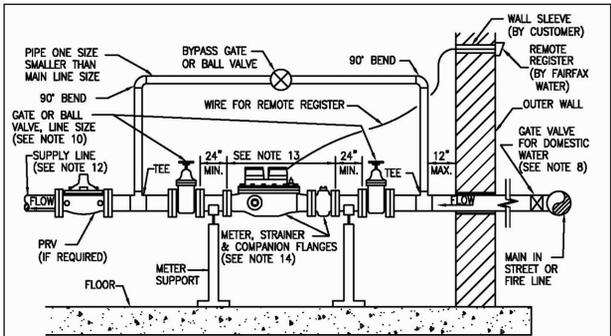
DRAWING NO. **233**
SCALE: NONE

MODIFIED STANDARD CURB DROP INLET
36" - 48" PIPE; MAXIMUM DEPTH (H) - 8" (WITH UTILITY SPACE)
54" - 60" MAX. PIPE; MAX. (H) - 8" (WITHOUT UTILITY SPACE)
VIRGINIA DEPARTMENT OF TRANSPORTATION

DATE: _____
REVISED: BY _____
APPROVED: _____
PREPARED: _____

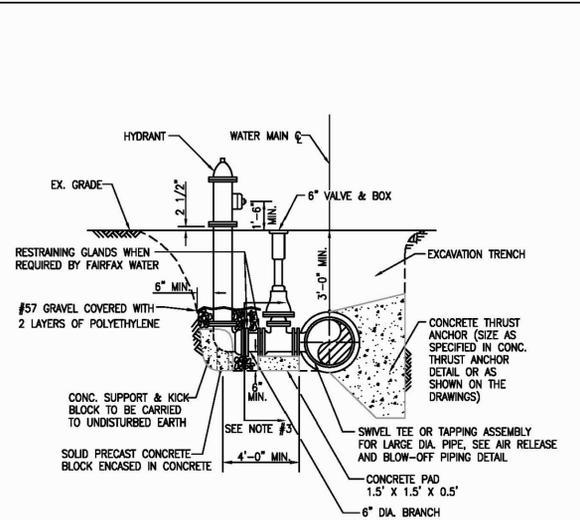
DRAWING NO. **104.18**
SCALE: NONE

NOTES:
ALL DETAILS PROVIDED ON THIS SHEET ARE CURRENT AT TIME OF SITE PLAN PREPARATION. CONTRACTOR IS RESPONSIBLE FOR USING CURRENT DETAILS AT TIME OF CONSTRUCTION



- TYPICAL INSTALLATION SECTION VIEW**
- NOTES:**
1. THE WATER METER WILL BE LOCATED IN AN ACCESSIBLE LOCATION AND WILL NOT BE INSTALLED UNDER EXISTING PIPING OR CLOSE TO OTHER FACILITIES. CRAWL SPACES ARE UNACCEPTABLE.
 2. WATER METER TO BE INSTALLED NOT MORE THAN 2.0' ABOVE THE FLOOR, OR CLOSER THAN 1.0' TO ANY WALL OR OTHER FIXED OBJECT.
 3. THE DEVELOPER SHALL MAKE PROVISIONS FOR DISCHARGE OF A LARGE VOLUME OF EXCESS WATER RESULTING FROM METER TESTING AND METER REPAIRS AS REQUIRED BY FAIRFAX WATER.
 4. THE METER INSTALLATION WILL BE INSPECTED AND APPROVED BY FAIRFAX WATER. CALL 703-289-6402 FOR INSPECTION PRIOR TO PLACING LINE IN SERVICE. (REMOTE REGISTER TO BE INSTALLED OUTSIDE BUILDING IF REQUIRED).
 5. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PREVENT THE METER FROM FREEZING.
 6. SUPPORT IS REQUIRED FOR THE METER.
 7. INCOMING LINE SIZE MUST BE THE SAME AS METER SIZE AT LEAST 3" BEFORE THE METER.
 8. A 3" MINIMUM GATE VALVE WITH A 2" OPERATING NUT MUST BE INSTALLED AT THE MAIN IN THE STREET OR FIRE LINE.
 9. NO TAPS, PRVs, STRAINERS, OR BACKFLOW PREVENTOR ARE TO BE INSTALLED BEFORE METER.
 10. GATE VALVES OR BALL VALVES MUST BE INSTALLED ON BOTH SIDES OF THE METER, AND ON THE BYPASS. BUTTERFLY VALVES ARE NOT ACCEPTABLE.
 11. FAIRFAX WATER TO SUPPLY AND INSTALL REMOTE REGISTER. WIRE FOR REMOTE REGISTER TO BE FURNISHED BY FAIRFAX WATER AND INSTALLED BY CUSTOMER IF REQUIRED.
 12. BACKFLOW PREVENTIONS WILL BE REQUIRED IN ACCORDANCE WITH FAIRFAX COUNTY'S REGULATIONS.
 13. 3" METER IS 24" LONG, 4" IS 29" LONG AND 6" IS 36" LONG.
 14. METER, STRAINER AND COMPANION FLANGES FURNISHED BY FAIRFAX WATER AND INSTALLED BY CUSTOMER.

	FAIRFAX WATER STANDARD DETAILS	SCALE: NOT TO SCALE
	INTERIOR METER INSTALLATION WITH BY-PASS 3" AND LARGER COMPOUND METERS	DRAWING NO. 11
DATE: 1/12	Y:\design\caddetail\standard details\2012\FW DETAILS JAN.dwg	



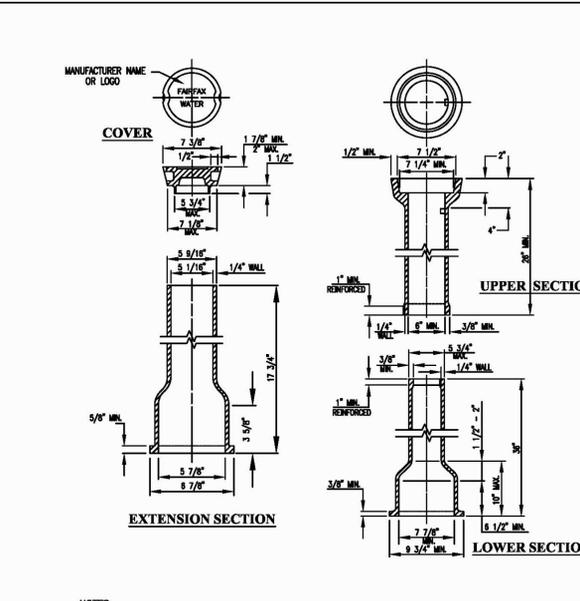
- STANDARD HYDRANT INSTALLATION**
- NOTES:**
1. IF SWIVEL TEE IS NOT USED, VALVE MUST BE RESTRAINED TO TEE WITH RESTRAINING GLANDS BY CONTRACTOR.
 2. HYDRANTS SHALL BE PAINTED AS FOLLOWS:
HYDRANT BARREL - DURON DTM GLOSS CHINESE RED PAINT # 601834864.
TOPS AND CAPS - DURON DURACLAD READY MIX ALUMINUM PAINT #601839327.
 3. POLYETHYLENE PIPE WRAPPING TO CONTINUE UP TO 90 DEGREE BEND AT BASE OF HYDRANT.
 4. FOR HYDRANT LOCATION IN REGARD TO FACE OF CURB, SEE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL.

	FAIRFAX WATER STANDARD DETAILS	SCALE: NOT TO SCALE
	STANDARD HYDRANT INSTALLATION	DRAWING NO. 30
DATE: 1/12	Y:\design\caddetail\standard details\2012\FW DETAILS JAN.dwg	

PIPE SIZE INCHES	DEGREE OF BEND (θ)	(1) WORKING PRESSURE 175 PSI			
		L	H	T	W
6	90	3.0	2.0	1.25	
	45	2.0	1.5	1.0	
	22.5	1.5	1.0	1.0	
8	90	4.0	2.5	1.75	
	45	2.5	2.0	1.0	
	22.5	2.0	1.5	1.0	
12	90	5.5	4.0	2.25	
	45	4.0	3.0	1.5	
	22.5	3.0	2.0	1.0	
16	90	7.5	5.0	3.25	
	45	5.0	4.5	2.0	
	11.25/22.5	4.0	3.0	1.5	
20	90	9.5	6.0	4.0	
	45	7.0	4.5	2.75	
	11.25/22.5	5.5	3.0	2.0	
24	90	13.0	6.5	5.5	
	45	9.0	5.0	3.5	
	11.25/22.5	6.0	4.0	2.0	

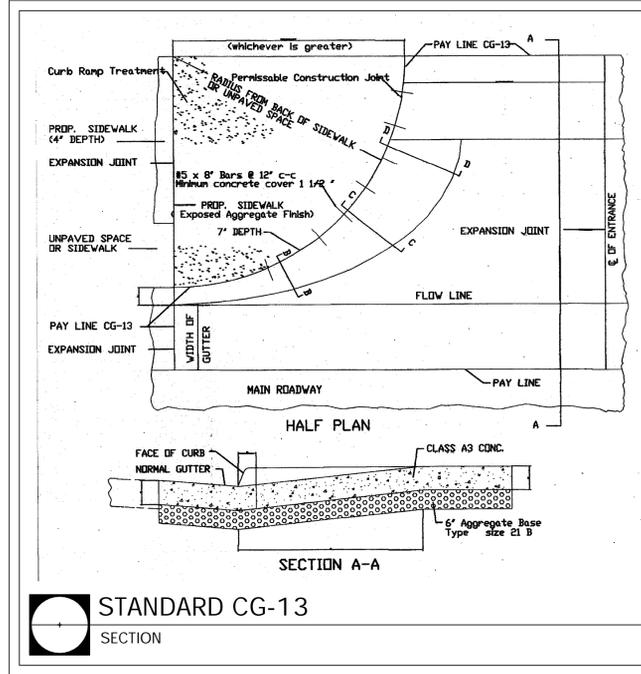
- CONCRETE THRUST ANCHORS**
- NOTES:**
1. MINIMUM CONCRETE ANCHOR BLOCK DIMENSIONS IN FEET.
 2. PROVIDE FORM WORK FOR ALL CONCRETE.
 3. CONCRETE SHALL BE CLASS D 2000 PSI.
 4. THE ABOVE TABLE IS BASED ON 2000 PSF SOIL BEARING CAPACITY. R=2PA SIN (θ/2) AND FOR A TEST PRESSURE = 1.5 x WORKING PRESSURE.
 5. ANCHOR BLOCK DESIGN FOR PIPE LARGER THAN 24" SHALL BE REVIEWED ON AN INDIVIDUAL BASIS BY FAIRFAX WATER.
 6. WRAP FITTING WITH POLYETHYLENE SHEETING. CONCRETE MUST NOT OBSTRUCT ACCESS TO MECHANICAL JOINT ASSEMBLY.
 7. CONCRETE ANCHOR BLOCK DIMENSIONS FOR TEES TO BE SAME AS FOR 90° BENDS.
 8. HEIGHT OF CONCRETE ANCHOR BLOCK ABOVE PIPE CENTERLINE IS 1/3 THE H DIMENSION.
 9. BLOCKING SHALL BACK TO UNDISTURBED EARTH.

	FAIRFAX WATER STANDARD DETAILS	SCALE: NOT TO SCALE
	CONCRETE THRUST ANCHORS	DRAWING NO. 23
DATE: 1/12	Y:\design\caddetail\standard details\2012\FW DETAILS JAN.dwg	

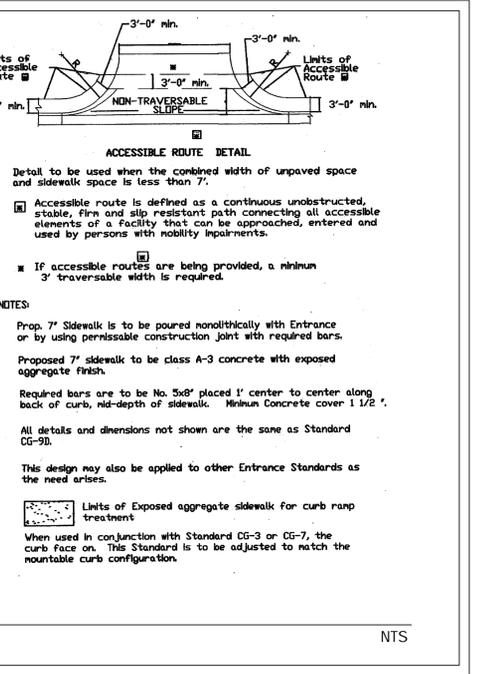


- VALVE BOX**
- NOTES:**
1. THE MANUFACTURER IDENTIFICATION AND COUNTRY OF ORIGIN (IF OTHER THAN U.S.) SHALL BE CAST INTO ALL PARTS.
 2. GUARD POSTS ARE NOT TO BE INSTALLED AT VALVES UNLESS INDICATED ON DRAWINGS, OR AS SPECIFIED BY FAIRFAX WATER.
 3. VALVE BOX MUST MEET SPECIFICATIONS CONTAINED IN FAIRFAX WATER'S APPROVED PRODUCTS LIST.

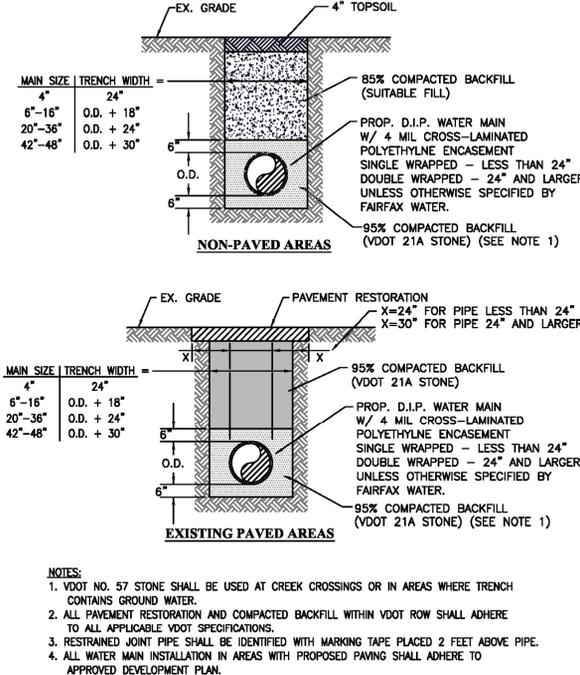
	FAIRFAX WATER STANDARD DETAILS	SCALE: NOT TO SCALE
	VALVE BOX	DRAWING NO. 27
DATE: 1/12	Y:\design\caddetail\standard details\2012\FW DETAILS JAN.dwg	



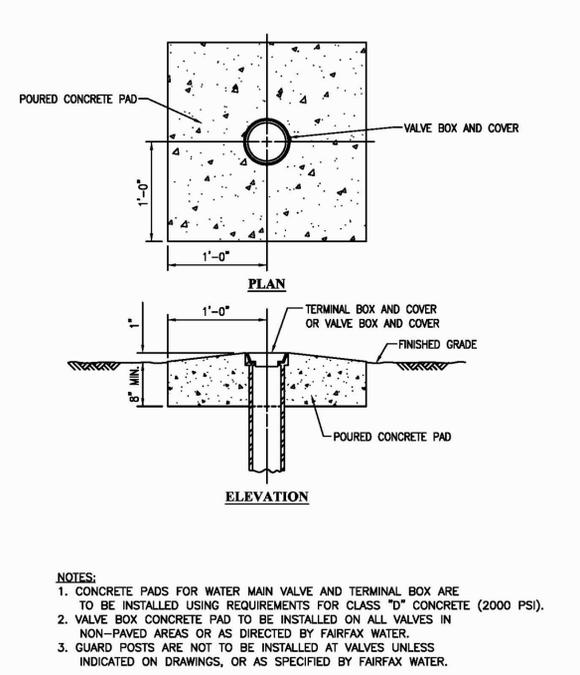
STANDARD CG-13
SECTION



ACCESSIBLE ROUTE DETAIL



	FAIRFAX WATER STANDARD DETAILS	SCALE: NOT TO SCALE
	TRENCH - DUCTILE IRON PIPE	DRAWING NO. 12
DATE: 1/12	Y:\design\caddetail\standard details\2012\FW DETAILS JAN.dwg	



	FAIRFAX WATER STANDARD DETAILS	SCALE: NOT TO SCALE
	VALVE BOX CONCRETE PAD	DRAWING NO. 28
DATE: 1/12	Y:\design\caddetail\standard details\2012\FW DETAILS JAN.dwg	

WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1945

Engineers • Surveyors • Planners
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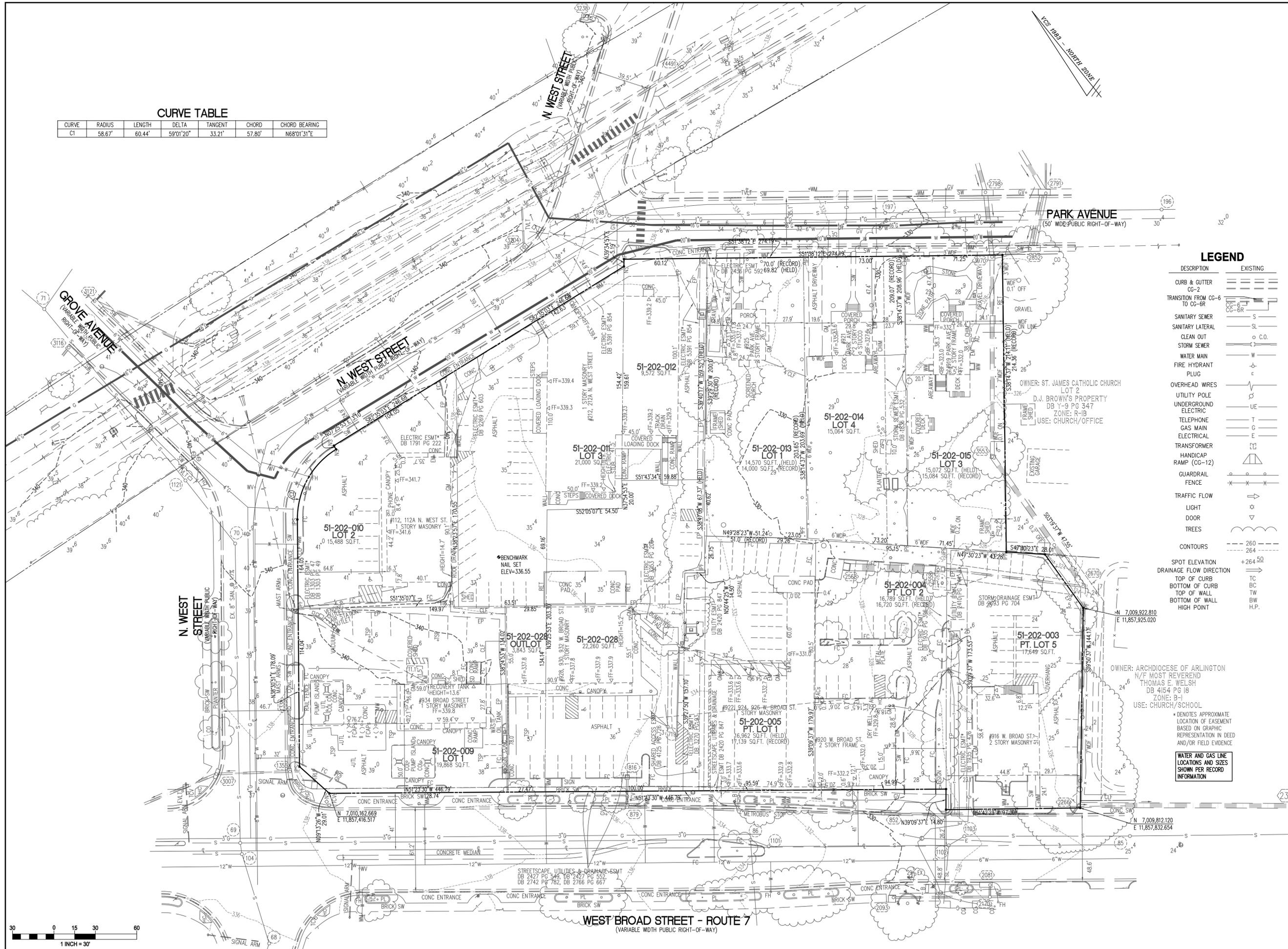
DATE: 02/23/16
SCALE: NONE
CHECKED: _____
DRAWN: _____

NO.	DESCRIPTION	DATE	REV.	APPROVED BY	DATE

DETAILS

MASON ROW
AT THE INTER SECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
C1	58.67'	60.44'	59°01'20"	33.21'	57.80'	N68°01'31"E



LEGEND

DESCRIPTION	EXISTING
CURB & CUTTER	CG-2
TRANSITION FROM CG-6 TO CG-6R	CG-6R
SANITARY SEWER	S
SANITARY LATERAL	SL
CLEAN OUT	C.O.
STORM SEWER	SS
WATER MAIN	WM
FIRE HYDRANT	FH
PLUG	P
OVERHEAD WIRES	OW
UTILITY POLE	UP
UNDERGROUND ELECTRIC	UE
TELEPHONE	T
GAS MAIN	G
ELECTRICAL	E
TRANSFORMER	TR
HANDICAP RAMP (CG-12)	HR
GUARDRAIL	GR
FENCE	F
TRAFFIC FLOW	TF
LIGHT	L
DOOR	D
TREES	T
CONTOURS	C
SPOT ELEVATION	SE
DRAINAGE FLOW DIRECTION	DFD
TOP OF CURB	TC
BOTTOM OF CURB	BC
TOP OF WALL	TW
BOTTOM OF WALL	BW
HIGH POINT	H.P.

OWNER: ST. JAMES CATHOLIC CHURCH LOT 2
D.J. BROWN'S PROPERTY DB Y-9 PG 347
ZONE: R-IB
USE: CHURCH/OFFICE

OWNER: ARCHDIOCESE OF ARLINGTON
N/F MOST REVEREND THOMAS E. WELSH DB 4154 PG 18
ZONE: B-1
USE: CHURCH/SCHOOL

* DENOTES APPROXIMATE LOCATION OF EASEMENT BASED ON GRAPHIC REPRESENTATION IN DEED AND/OR FIELD EVIDENCE

WATER AND GAS LINE LOCATIONS AND SIZES SHOWN PER RECORD INFORMATION

EXISTING CONDITIONS PLAN

MASON ROW
AT THE INTER SECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA

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WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1945
DATE: 9/23/16
SCALE: 1" = 30'

REVISION APPROVED BY: [] DATE: []
APPROVED: [] DATE: []
REV. BY: []

NO. DESCRIPTION DATE

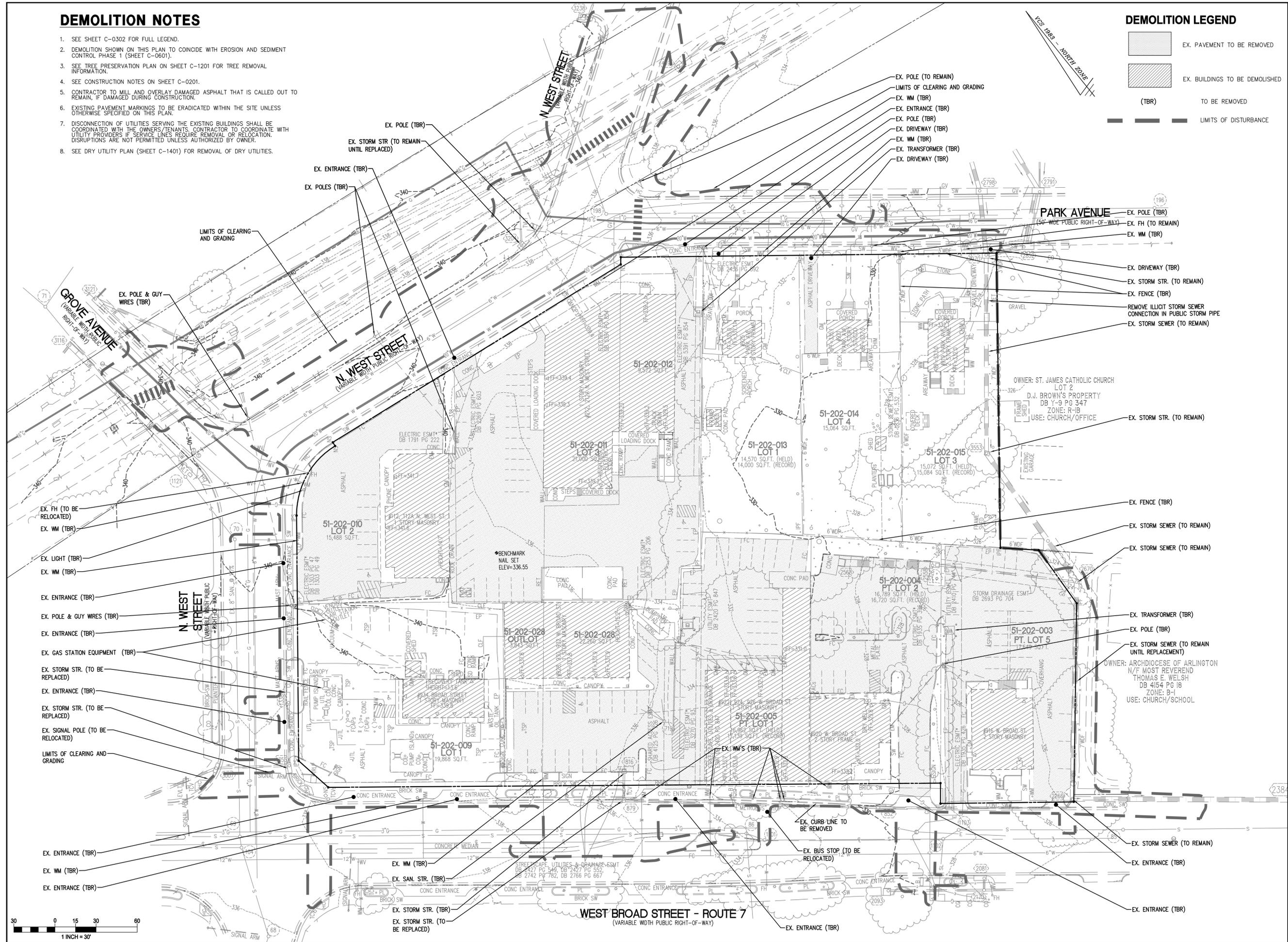
SHEET: C-0301

DEMOLITION NOTES

- SEE SHEET C-0302 FOR FULL LEGEND.
- DEMOLITION SHOWN ON THIS PLAN TO COINCIDE WITH EROSION AND SEDIMENT CONTROL PHASE 1 (SHEET C-0601).
- SEE TREE PRESERVATION PLAN ON SHEET C-1201 FOR TREE REMOVAL INFORMATION.
- SEE CONSTRUCTION NOTES ON SHEET C-0201.
- CONTRACTOR TO MILL AND OVERLAY DAMAGED ASPHALT THAT IS CALLED OUT TO REMAIN, IF DAMAGED DURING CONSTRUCTION.
- EXISTING PAVEMENT MARKINGS TO BE ERADICATED WITHIN THE SITE UNLESS OTHERWISE SPECIFIED ON THIS PLAN.
- DISCONNECTION OF UTILITIES SERVING THE EXISTING BUILDINGS SHALL BE COORDINATED WITH THE OWNERS/TENANTS. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS IF SERVICE LINES REQUIRE REMOVAL OR RELOCATION. DISRUPTIONS ARE NOT PERMITTED UNLESS AUTHORIZED BY OWNER.
- SEE DRY UTILITY PLAN (SHEET C-1401) FOR REMOVAL OF DRY UTILITIES.

DEMOLITION LEGEND

- EX. PAVEMENT TO BE REMOVED
- EX. BUILDINGS TO BE DEMOLISHED
- (TBR) TO BE REMOVED
- LIMITS OF DISTURBANCE



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DEMOLITION PLAN

MASON ROW

**AT THE INTER SECTION OF WEST BROAD STREET,
NORTH WEST STREET & PARK AVENUE
CITY OF FALLS CHURCH, VIRGINIA**

NO.	DESCRIPTION	DATE	REV. BY	APPROVED BY	DATE

File No. CC-8 Tax Map No. 40-4 Job No. 07-023 Cadd Dwg. File: Q:\sdsproj\07023\dwg\Engineering\Site Plan\07023C-0303.dwg

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